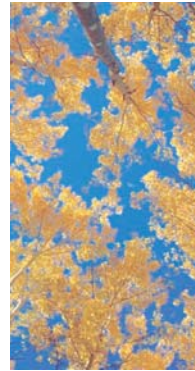




Glenwild
Design Guide



Glenwild Community Association
Revised January 01, 2010

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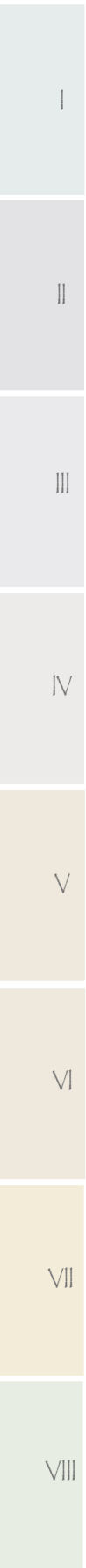
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I. THE GLENWILD DESIGN PHILOSOPHY

Architecture and landscape, in all their subtle detail, must work in harmony with Glenwild’s natural setting. The development of homesites at Glenwild begins with a respect and consideration for this natural environment. We intend Glenwild to be a large scale work of art where the people, structures, and the native landscape blend into a harmonious and aesthetically pleasing community.

This Design Guide has been created to help our residents share in this philosophy. Particularly, the design guide is intended to provide direction to homesite Owners for the design of their dwellings and to ensure compatibility within the unique environment of Glenwild. It is not the purpose of these Guidelines to create look-alike dwellings or suggest that they all have identical colors and materials, but to

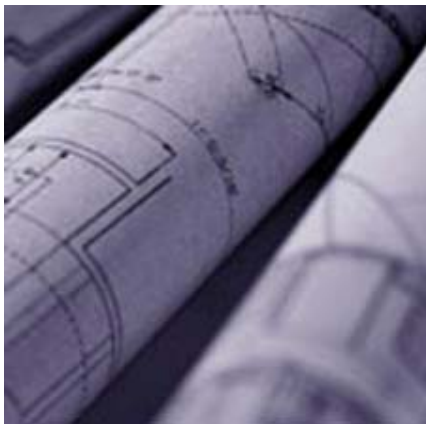
create a harmonious architectural approach that is sympathetic to the incredible natural setting.

The Architectural Standards and Design Criteria set forth in this Design Guide may be viewed by the individual homesite Owner as the tool that will protect, preserve, and enhance this special environment over time.

1.1 ARCHITECTURAL REVIEW PROCESS

It is expected that the design of each dwelling will be tailored to the unique features of each individual homesite. As such, this Design Guide addresses special character requirements for the differing topography of Glenwild's sloping hillsides and open meadowlands. Each home design must address the special needs of its site. No preconceived designs suited for other environments or landscape will be permitted. Each design must begin with a thorough site evaluation and take into account the site's topography, sun angles, view corridors, relationships to ridgelines, native landscape, and other homes. It is only after a complete understanding of these natural characteristics that a homesite Owner and their Architect or Designer can begin a homesite design.

In order to assist each Owner with an environmentally sound and aesthetically compatible design of their dwelling, a comprehensive Architectural Review Process has been established pursuant to this Design Guide. This process provides each Owner the opportunity to draw upon the expertise and knowledge which has



been acquired during the planning and development of Glenwild. Since the preservation and enhancement of the unique landscape at Glenwild are of primary concern, the Architectural Review Committee has been established and charged with the responsibility of ensuring that these principles are adhered to throughout all phases of development.

For this reason, the Architectural Review Process has been established, encompassing the following five

phases:

1. The Pre-Design Conference, during which each homesite Owner along with their architect may review their ideas and the natural characteristics of the homesite with a representative of the Architectural Review Committee before any plans are prepared. It is required that these meetings take place at the homesite and that the owner's architect be present.
2. The Preliminary Submittal, at which time the Architectural Review Committee will review conceptual plans to ensure conformance with the Design Guide, before the Owner finalizes his design.
3. The Final Submittal, at which time the Architectural Review Committee will review final construction documents to confirm that they are consistent with the previously approved preliminary plans and the Design Guide.
4. The Pre-Construction Conference, during which each builder will review the construction regulations with a representative of the Architectural Review Committee to ensure understanding of, and future compliance with, these regulations.
5. The Final Inspection of the improvements by a representative of the Architectural Review Committee, to determine whether actual construction has been completed in strict compliance with the approved plans and Design Guide.

The Architectural Review Process was developed to provide adequate checkpoints throughout the design and development phases, so that time and money are not wasted on plans and designs which do not adhere to the Design Guide or to the overall principles of Glenwild, or which may be inappropriate or of improper configuration for the specific homesite setting. Therefore, it is extremely important that the design steps of the review process be followed in their entirety, and in correct sequence. This process is a proven and effective one and will not result in undue delays, provided each Owner adheres to the intended spirit of the Design Guide, namely, a site-sensitive approach to the development of his or her homesite within the Glenwild community.

It is required that the Owner retain a licensed Architect for planning and design to ensure a thorough analysis and understanding of a particular homesite as well as the Owner's special needs and living patterns. Doing so also provides the ability for the owner to effectively communicate to the Architectural Review Committee the concept and design of a proposed residence or improvement. In certain situations, the Architectural Review Committee may grant approval for a non-licensed designer to complete the process on a one time basis.

The Architectural Review Committee specifically reserves the right to make subjective, as well as objective, determinations of whether the goals of the Architectural Standards and Design Criteria have been met by a particular submittal. This Design Guide may include requirements and limitations which are more restrictive than the provisions of the Declaration of Covenants, Conditions and Restrictions for Glenwild, and the Notes which are included on the recorded plats for Glenwild. In such instances, the terms, provisions, restrictions and procedures of the Design Guide shall control.

The Glenwild Architectural Review Process is independent of the Summit County technical plan review process and is solely intended to enforce the Design Guide. The Glenwild Architectural Review Committee must grant final approval prior to submittal to Summit County. Each homesite Owner bears the responsibility for the proposed dwelling's adherence to Glenwild's Design Guide. Additionally the homesite owner bears the responsibility for the proposed structure's adherence to county, zoning and building codes including meeting the requirements for low-impact permits and viewshed restrictions. The ultimate goal is to create and maintain Glenwild as the finest community in the Park City area.





II. DESIGN REVIEW PROCEDURES

Site sensitive, site-specific design shall be fundamental at Glenwild. Design drawings should evolve from the careful and thorough analysis of a site's specific setting and features. Therefore, Owners and/or their designers should refrain from approaching a site with a predetermined design expecting to "make it fit", with little regard to natural constraints. Glenwild has established this review procedure to assist the applicant through the design process in its appropriate sequence.

Plans and specifications shall be submitted to the Architectural Review Committee in accordance with the following conference and submittal requirements and review procedures.

2.1 PRE-DESIGN CONFERENCE

Prior to preparing preliminary plans for any proposed improvement, it is mandatory that the Owner and the Architect meet with a representative of the Architectural Review Committee to discuss proposed plans and to resolve any questions regarding building requirements at Glenwild. This informal review is to offer guidance prior to initiating preliminary design, and should occur on site. In some cases this may occur by conference call at the discretion of the Architectural Review Committee.

The parameters and directives identified at each Pre-Design Conference remain valid for one year only. If the submittal of a preliminary design does not occur within twelve months of a Pre-Design Conference, a supplementary Pre-Design Conference is in order to review any changes in site conditions or revisions to the Design Guide which may have transpired.

2.2 PRELIMINARY DESIGN SUBMITTAL

A Preliminary Design Submittal must follow within twelve months of the Pre-Design Conference. When the Preliminary Design is complete, its submittal for consideration must include all of the following exhibits. Review by the Architectural Review Committee will not commence until the Design Review fee has been paid and the submittal is complete.

- A. Site plan (2 copies and PDF file), showing the entire property, location of the proposed Approximate Building Location, the residence and all buildings, driveway, parking area, existing and proposed topography, proposed finished floor elevations, all trees, all clusters of native shrubs, and special terrain features to be preserved.
- B. Survey (2 copies and PDF file), by a registered land surveyor or licensed civil engineer showing homesite boundaries and dimensions, topography (2 feet contours or less), major terrain features, all trees, edge of pavement or curb, and utility locations.
- C. Floor plans (2 copies and PDF file) showing proposed finished

- floor elevations.
- D. All exterior elevations (scale 1/4" or 1/8" = 1'-0") showing both existing and proposed grade lines, plate heights, ridge heights, roof pitch and a preliminary indication of all exterior materials and colors.
 - E. A 1/8-inch scale model that shows topography (minimum 2 foot contours) of the entire homesite is required at this time. Models at other scales cannot be accepted, as the models are often viewed and compared with other models of nearby homesites. Items such as roof overhangs, windows, mullions, doors, balconies, posts, and exposed beams must be modeled three-dimensionally, rather than being simply drawn onto the model base.
 - F. Any other drawings, materials or samples requested by the Architectural Review Committee.

2.3 PRELIMINARY DESIGN REVIEW

The Architectural Review Committee will review the plans and respond in writing no later than 30 days after a submittal is complete. Members of the Architectural Review Committee will not discuss results of reviews over the telephone with an owner or his Architect or Builder. Any response an Owner may wish to make regarding the results of an architectural review must be addressed to the Architectural Review Committee in writing.

The Architectural Review Committee's approval of a preliminary design is valid for twelve months.

2.4 FINAL DESIGN SUBMITTAL

A Final Design Submittal must follow within twelve months of the Architectural Review Committee's granting of approval for a preliminary design. When the final design is complete, its submittal for consideration must include the following exhibits. Review by the Committee will not commence until the submittal is complete.

- A. Site plan (3 copies and PDF file), showing the entire property, location of the Approximate Building Location, the residence and all buildings, driveway, culverts, drainage channels, parking area, existing and proposed topography, finished floor

elevations, all protected plants or special terrain features to be preserved, trees to be removed, all utility sources and connections, and site walls.

- B. Floor plans (3 copies and PDF file) showing finished floor elevations.
- C. Roof plan (3 copies and PDF file) showing all roof pitches.
- D. Building section (3 copies and PDF file), indicating existing and proposed grade lines.
- E. All exterior elevations (3 copies and PDF file) showing both existing and proposed grade lines, plate heights, roof pitch and an indication of exterior materials and colors.
- F. Paint chips and literature as requested by the Architectural Review Committee depicting and describing all exterior materials.
- G. Complete landscape plan (3 copies and PDF file), showing size and type of all proposed plants, irrigation system, all decorative materials or borders, full exterior lighting plan including cut sheets, and all retained plants.
- H. On-site staking of all building corner and other improvements, if requested by the Architectural Review Committee.
- I. Construction site plan as described in paragraph 5.3.
- J. Compliance Deposit and Escrow Agreement described in paragraph 2.8.

2.5 FINAL DESIGN REVIEW

The Architectural Review Committee will review the plans and respond in writing no later than 30 days after a submittal is complete.

Members of the Architectural Review Committee will not discuss results of reviews over the telephone with an Owner or his Architect or Builder, and no Owner, Architect or Builder shall have the right to attend any meeting of the Architectural Review

Committee unless specifically requested by the Architectural Review Committee.

Any response an Owner may wish to make regarding the results of a Architectural Review must be addressed to the Architectural Review Committee in writing. The Architectural Review Committee's approval of the final design is valid for twelve months.

2.6 RESUBMITTAL OF PLANS

In the event of any disapproval by the Architectural Review Committee of either a Preliminary or Final Submittal, a resubmission of plans should follow the same procedure as an original submittal. An additional Architectural Review fee shall accompany each such submittal as required by the Architectural Review Committee.

Design approvals for each review step remain valid for one year only. Therefore, if an application lags the fulfillment of a preceding review phase by more than twelve months, that prerequisite step must be repeated, unless waived by the Architectural Review Committee.

2.7 PRE-CONSTRUCTION CONFERENCE

Prior to commencing construction, the builder must meet with a representative of the Architectural Review Committee and/or the Community Association Management Company to review construction procedures and coordinate his/her activities in Glenwild.

2.8 COMPLIANCE DEPOSIT

In order to ensure compliance with this Design Guide and the Declaration of Covenants, Conditions and Restrictions for Glenwild, prior to commencing construction on any new home in Glenwild the general contractor for such home shall deposit a Construction Bond (in the amount established by the Architectural Review Committee and the Board of Trustees, see attached Fee Schedule) with a title or escrow company chosen by the Architectural Review Committee. The contractor shall also execute an escrow agreement, approved by the Architectural

Review Committee. The escrow agreement will provide that funds from the escrow account will be released to the Glenwild Community Association, at the request of the Architectural Review Committee or the Glenwild Community Association, to (a) collect any unpaid fines or penalties charged to the contractor or any of its subcontractors due to the contractor's or subcontractor's violation of the Design Guide or Declaration of Covenants, Conditions and Restrictions, and/or (b) pay the cost to correct any damage to roads or other property within Glenwild caused by the contractor or its subcontractors.

The Architectural Review Committee may establish and collect additional bond money for non compliance items including, but not limited to, excess grading/fill material left on site during construction, excess grading and excess natural landscape impacts. Said Bond deposit will be collected and held with a mutual bond agreement. Sites, not in compliance, will be required to stop work until the action is remedied or bond is deposited. The Architectural Review Committee acknowledges that occasionally stockpiling fill is required for back fill purposes; the intent of the bond is to ensure that stockpiling does not result in pad 'build-out' or unnatural contour development.

2.9 COMMENCEMENT OF CONSTRUCTION

Upon receipt of final approval from the Architectural Review Committee, and having satisfied all Summit County review processes, the Owner shall satisfy all conditions and commence the construction or any work pursuant to the approved plans within one year from the date of such approval.

If the Owner fails to begin construction within this time period, any approval given shall be deemed revoked and the process must be repeated along with additional Architectural Review fees paid.

The Owner shall, in any event, complete the construction of any improvement on his homesite within 18 months after commencing construction thereof, except and for so long as such completion is rendered impossible or would result in greater hardship to the Owner due to labor strikes, fires, national emergencies or natural calamities.



Any construction extension, beyond 18 months, must be approved by the Architectural Review Committee or Board of Trustees and will result in associated fees. (reference attached fee structure). If the Owner fails to comply with this schedule, the Architectural Review Committee shall have the right to have the exterior of the improvement completed in accordance with approved plans or remove the improvement, with all expenses incurred to be reimbursed to the Architectural Review Committee by the Owner.

2.10 INSPECTIONS OF WORK IN PROGRESS

The Architectural Review Committee may inspect all work in progress and give notice of noncompliance. Absence of such inspection or notification during the construction period does not constitute an approval by the Architectural Review Committee of work in progress or compliance with this Design Guide.

2.11 SUBSEQUENT CHANGES

Additional construction or other improvements to a residence or homesite, changes during construction or after completion of an approved structure, including landscaping and color modification, must be submitted to the Architectural Review Committee for approval prior to making such changes or additions. Subsequent modifications are subject to an architectural review fee. (reference attached fee structure). Changes or modifications completed or installed without ARC approval are subject to removal at the owners' expense. Changes or modifications that meet the intent of the guidelines may not require removal, but the owner will be responsible for a pre-established fee. (reference attached fee structure)

2.12 FINAL RELEASE

Upon completion of any residence or other improvement, the Owner shall give written notice of completion to the Architectural Review Committee. Within 10 days of such notification, a representative of the Architectural Review Committee shall inspect the residence or other improvement for compliance. If all improvements comply with this Design Guide, the Architectural Review Committee shall issue a written approval to the Owner, constituting a final release of the

improvements by the Architectural Review Committee, said release to be issued within 30 days of the Final Inspection. If it is found that the work was not done in strict compliance with approved plans or any portion of this Design Guide, the Architectural Review Committee may issue a written notice of noncompliance to the Owner, specifying the particulars of noncompliance, said notice to be issued within 30 days of the Final Inspection. Full compliance inspection includes assessing all landscaping elements including, but not limited, to full revegetation efforts in all disturbed areas, road edge repairs and full construction mitigation. Those sites that install landscaping during the fall may not receive the bond deposit until early summer when the ARC can determine if proper revegetation efforts have been made.

The Owner shall have 30 days from the date of notice of noncompliance within which to remedy the noncompliance portions of his improvement. If, by the end of this time period the Owner has failed to remedy the noncompliance, the Architectural Review Committee may take action to remove the noncompliance improvements as provided for in this Design Guide, including, without limitation, injunctive relief or the imposition of a fine.

2.13 NON-WAIVER

The approval by the Architectural Review Committee of any plans, drawings or specifications for any work done or proposed shall not be deemed to constitute a waiver of any right to withhold approval of any similar plan, drawing or specification subsequently or additionally submitted for approval. Failure to enforce any of this Design Guide shall not constitute a waiver of same.

2.14 RIGHT OF WAIVER

The Architectural Review Committee reserves the right to waive or vary any of the procedures set forth herein at its discretion, for good cause shown. (reference attached fee structure)

2.15 EXEMPTIONS

Utility and maintenance buildings, structures, and cabinets located on non-residential tracts are exempted from this Design Guide. However, the Architectural Review Committee will endeavor to attain as high a level of conformance with these standards as is practical for these types of facilities.

2.16 DESIGN REVIEW FEE

An Architectural Review fee will be charged. Additional Architectural Review fees may be charged due to resubmittals, remodels, or other special circumstances. The full Architectural Review fee will be paid at the time of the Preliminary Submittal. See fee schedule for accurate prices. Fees are subject to change.

DESIGN REVIEW SUBMITTAL CHECKLIST

STEP 1 - PRE-DESIGN CONFERENCE (Before any design begins)

- Review guidelines
- Review and discuss specifics on Lot Features maps and Plat maps
- Discuss driveway configuration
- Answer all questions related to process

STEP 2 - PRELIMINARY DESIGN SUBMITTAL

- Site Plan
- Survey with topography
- Floor Plans
- All exterior buildings elevations
- Model
- Supplemental drawings requested in Pre-Design
- Architectural review fee check & application
- Preliminary approval from committee

STEP 3 - FINAL DESIGN SUBMITTAL

- Complete Construction Documents
- Time schedule for construction
- Sample of all exterior materials, colors, and glass specifications
- Landscaping Plan
- Exterior Lighting Plan and lighting cuts

STEP 4 - COUNTY BUILDING PERMIT

STEP 5 - PRE-CONSTRUCTION CONFERENCE

- Builder must meet with a representative of the committee or management company prior commencement of construction.
- Approval from the committee must be obtained prior to bringing in any construction trailer, field office, etc.
- Agreed upon area must be fenced with construction fencing
- Compliance deposit paid and escrow agreement signed

CERTIFICATE OF FINAL CONSTRUCTION APPROVAL

Issued by the Design Review Committee upon completion of construction and all required inspections.

DESIGN REVIEW APPLICATION

Applicant to complete the information below

Project Location

Homesite #

Street Address

Owner

Name

Mailing Address

City State Zip

Phone

Fax E-mail

Architect

Firm/Architect

Mailing Address

City State Zip

Phone

Fax E-mail

Contractor/Builder

Name

Mailing Address

City State Zip

Phone

Fax E-mail

House Information

Total Liveable: _____ Sq. ft.

Enclosed Total: _____ Sq. ft.

Description of Submittal
Attach all necessary drawings and information

Applicant

As Applicant, either Owner or Owner's Agent, I have read and understand the Design Guidelines and the CC&R's concerning design and construction in Glenwild. I acknowledge that the Design Review fee is non-refundable. I have also been informed that before I apply for a building permit I must pay a compliance deposit to the HOA.

Applicant's Signature Print Name Date

For Committee Use Only

Reserved by: _____ Preliminary Approved

Date: _____ Final Approved w/Stips

Scheduled Meeting: _____

Pre-Design Meeting Date: _____

Preliminary Approval Date: _____

Final Approval Date: _____



III. SITE PLANNING GUIDELINES

T

he climate, terrain and landscape at Glenwild are all important factors that must be considered in the design of any improvements to properties within the community. It is the intent of the following guidelines to ensure environmentally sound and aesthetically pleasing development at Glenwild for the mutual benefit and enjoyment of all its owners.

3.1 SITE ANALYSIS

Site planning for individual homesite improvements at Glenwild relies heavily on site analysis efforts. The analysis is a method to evaluate the existing conditions on

or near the homesite through the use of a topographic survey prepared by a registered Civil Engineer or a licensed Land Surveyor and on-site verification by the Architect and Landscape Architect. The location and design of proposed structures must relate to existing terrain and preserve the natural features of the site. The design process must take into account grade changes, slope, locations of both existing and planned trees, and orientation of the proposed improvements to sun, wind, and viewsheds. Privacy, to and from, and the impact on adjacent neighbors, nearby rights-of-way, common open space areas and golf course should be considered, both in site planning and in designing the architectural elements of the structure. It is important for the owner to have a survey prepared prior to development of a site plan because topography shown on the plot plan may have been altered during golf course or road construction and may not reflect these changes.

A design that grows from the findings of a thorough Site Analysis helps to shape a building that is sensitive to its natural surroundings and will enhance the community.

Every project shall begin with a Site Analysis prepared by the Architect and Landscape Architect. The Analysis is used at the Pre-Design Conference to aid in the establishment of the home location on the site. At a minimum, the following items must be identified and sketched onto a copy of the survey. Those with an asterisk* should be shown on the Lot Features Map.

- Lot Features Map with approximate building location *
- Property boundaries (from plat and Lot Features Map)*
- Required setbacks from all boundaries *
- Location of utilities serving the site (from Lot Features Map and site inspection)* - to be field verified by owner
- Any "No Access Zones" along street frontage *
- Contextual setting (neighboring land uses and approximate building locations) *
- Aspect and orientation (sun and shadow patterns)
- Impacts on the use of the site due to snow removal and storage
- Views both onto the site and from the site
- Wind patterns
- Linkage to Master Drainage Plan
- Existing open space network and critical resources
- Actual topographic survey prepared by licensed Land Surveyor

The analysis of each of these elements should be further evaluated in terms of design opportunities and design constraints. Design opportunities are those situations where the element in question will positively contribute to the overall project, while design constraints are situations where a specific element will detract or conflict with the overall vision for Glenwild. The opportunities and constraints identified in the Site Analysis should be used as design determinants in the design and development stages of the homesite.

3.2 THE APPROXIMATE BUILDING LOCATION

The Approximate Building Location concept, also noted as Building Envelope on some Lot Features maps, is a major component of the philosophy for site planning each individual homesite. The Approximate Building Location is that portion of each homesite within which all improvements, including structures, decks, walks, landscape improvements, grading, drainage swales, parking, garage back up area, fencing, and all mechanical equipment must be located, and is the only area of the homesite where alterations of, or disturbance to, the natural landscape may occur. The only disturbance allowed outside of the Approximate Building Location is the fourteen-foot maximum width driveway between the road and the residence, which may only encroach in the front setback and landscape. Sidewalks or walkways may not encroach into the front or sideyard setbacks. The Approximate Building Location for each homesite is indicated on the Lot Features Map, which was supplied with the real estate contract or can be provided by the Architectural Review Committee, and is designed to help protect and preserve the landscape features of the homesite as well as critical viewsheds and sight lines. The final Approximate Building Location will be determined after the preliminary submittal. In all cases the area of the residence should be predominately within the area of Approximate Building Location, sometimes indicated by the term "Building Envelope," on the Lot Features Map. Approximate Building Locations may not encroach on any required minimum setbacks as shown on the Plat. Approximate Building Locations may be adjusted only by authorization from the Architectural Review Committee and only for the purpose of integrating the house better with the natural contours of the site, when multiple lots are combined, or other appropriate issues as determined by the Architectural Review Committee.

Should a homeowner purchase two or more lots the Approximate Building Locations may be combined with the approval of the Architectural Review Committee, and any other required governmental authorities.

3.3 SITE WORK

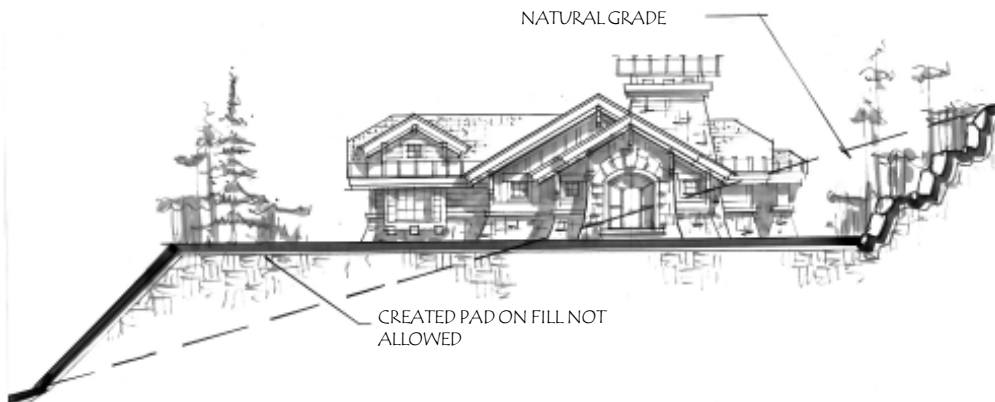
A very limited amount of excavation or fill will be permitted on any homesites except where specifically allowed by the Architectural Review Committee due to terrain considerations; every attempt should be made to minimize the use of engineered building pads.

Removal of vegetation within any Approximate Building Location will be permitted on a limited basis; however, it is understood that some selective pruning or removal of trees and shrubs will be necessary for the development of any homesite. Owners are strongly encouraged to transplant all significant vegetation on their homesite that is in the building area. Your Landscape Architect can advise you on this process. The Architectural Review Committee must first approve any cutting of trees or vegetation.

Great care must be taken in designing the site improvements around the existing vegetation so the root system remains intact and that its supply of water is maintained.

3.4 GRADING AND DRAINAGE

Site grading and drainage must occur with minimum disruption to the homesite



and golf course, without altering natural drainage patterns as runoff leaves the homesite, and without creating conditions that could lead to soil erosion.

In some cases, the Architectural Review Committee may allow the re-routing of a portion of a drainageway within the boundaries of the Approximate Building Location. This will be considered on a case-by-case basis, and it should not be assumed it will be allowed in all cases. In order to be approved, the relocated drainage way must take into account the possible loss of vegetation, the visual quality of the drainage way, and the master drainage plan.

Surface drainage upon and across any homesite must be addressed through the implementation of sound construction and grading practices. Any improvement which creates an obstruction to surface flows, snow melt, or groundwater discharge resulting in a back-up of storm waters or an increasing or moving of predevelopment flow onto a neighboring homesite or common area parcel is strictly prohibited.

Ground floor levels should be established at a vertical elevation such that the final placement of backfill, walks, drives, and porches will produce a positive drainage away from the structure in all directions. The inclusion of foundation waterproofing and a perforated pipe foundation drainage system is recommended.

Where necessary to produce the desired results and in accordance with Summit County requirements, the Architectural Review Committee may approve minimal grading as well as the use of multiple small retaining walls. However, grading that produces awkward or steep slopes that are not natural in their final appearance will not be approved. Cut slopes may have a maximum ratio of 2:1 horizontal to vertical and fill slopes may have a maximum ratio of 3:1 unless supported by an approved retaining wall. Cleared areas must be landscaped prior to winter or soil locked using hydroseed or fabric matting. 3:1 or greater slopes must be covered with a decomposing matting that will allow vegetation to grow.

In addition to basic grading, sloping sites should employ designs that take up the full impact of grading within the dwelling's footprint; the location and design of the proposed structures must relate to the existing terrain. Grade transitions from Approximate Building Locations to setbacks must appear natural. All homesite grading must be limited to construction of driveways and other grading necessary

for authorized construction. Due to predevelopment grading on some homesites, corrective grading will be allowed. Except for driveway access, erosion control, special landscape conditions, or utilities, no other grading is allowed outside the Approximate Building Location of any homesite.

No excessive excavation or fill will be permitted on any homesite. On some sensitive sites, grading may not be allowed at all. Every attempt must be made to minimize cut and fill necessary for the construction of a home. Excess fill may not be placed on a homesite, it must be legally disposed of outside of Glenwild. Retaining walls and level building pads may be utilized only where necessary. Grading must be limited to that reasonably necessary for the construction of a home and should take into account the grading of an adjacent lot. Pad grading for the intention of providing concrete slab foundations is prohibited except for garages, terraces, outbuildings and basements.

Excavation or fill must be limited to 4 feet vertically outside of structure where exposed to view. However, the Architectural Review Committee reserves the authority to disapprove of any exposed excavation or fill transition that is abrupt, awkward or unnatural in appearance.

All cut and filled areas must be revegetated with approved plant material or seed mix. Retaining systems are required at vertical cuts. No excavation, fill, or removal of trees and other vegetation will be permitted until the applicants' final Construction Documents have been approved in writing by the Architectural Review Committee and the Pre-Construction requirements have been fulfilled. Actual wall heights and ground slopes will vary by location. Multiple retaining wall systems with intermediate landscaping must be used wherever a single wall would exceed four feet or otherwise appear excessively high, unless the impact to natural vegetation or other aesthetic conditions would be lessened. In some special cases high retaining walls may reduce the amount of disturbance to native vegetation and may be preferred. When constructing vertical retaining walls, consider sloping the base about 15 degrees from vertical to soften the impact of an otherwise vertical wall. Grading near the setbacks may not result in abrupt transitions to adjacent homesites or streets. No structures may be constructed on portions of a homesite where the slope exceeds 30 percent.

When cuts and fills are required, the maximum slope must be 2 to 1 to allow for natural vegetation, anything steeper than that will require an approved retaining wall unless special conditions exist on the site. Some special soil conditions may require a shallower slope such as 4 to 1.

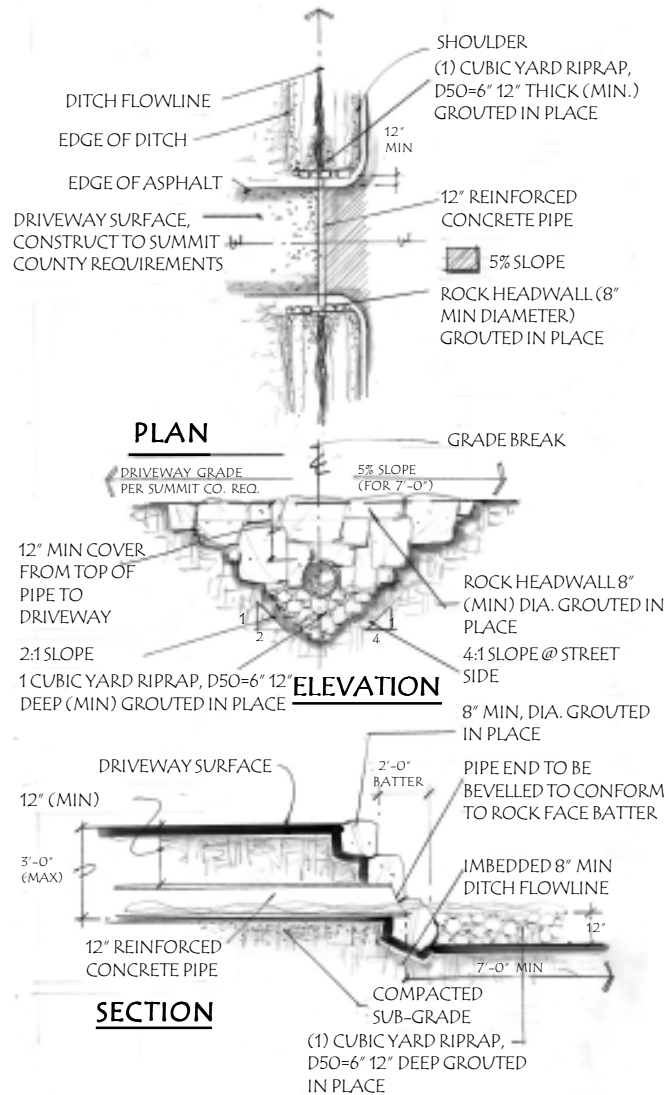
3.5 ACCESS DRIVES

A single driveway only may access each homesite (one entrance/exit onto street per home). This access point should be resolved in the pre-design conference. Access drives shall be located to preserve and avoid important natural features, such as large or significant plant materials, drainage ways, rock outcroppings, and to minimize disruption of the existing landscape. Additionally, homeowners need to consult Summit County Ordinances that govern driveways.

The graded or paved surface of an access drive shall not exceed 14 feet in width where it crosses the road right-of-way and the front setback of the homesite, and continue with the 14' width to the street paving. Driveways may widen once inside the Approximate Building Location to allow for proper maneuvering space. Driveway surfaces and certain landscaping are the only improvements allowed outside the Approximate Building Location with the exception of underground utilities servicing the homesite. Some limited encroachment may be considered where unique terrain, vegetation constraints, or limited homesite width may warrant. The proposed driving surface is subject to approval by the Architectural Review Committee. Driveways are encouraged to be natural stone, unit pavers, colored concrete, stamped colored concrete, or other pattern and texture methods approved by the Architectural Review Committee.

Asphalt drives will be permitted but must be maintained properly. No uncolored concrete is permitted. A 12-inch concrete or metal culvert drainage pipe, shall be installed where necessary beneath each access driveway, between the road shoulder and the property line, unless otherwise approved by the Architectural Review Committee. This pipe should be shown on the site plan. (The pipe size and individual lot requirements are available from the Architectural Review Committee.) In some cases the pipe size may be too large to install due to site conditions. If this is the case, the Architectural Review Committee will consider an alternative. The invert flowline of the pipe shall be aligned and sloped so that ditch/drainageway

storm flows will continue smoothly and unimpeded beneath the driveway crossing. The exposed ends of the pipe shall be aesthetically finished with stone headwalls. Stone headwalls must be constructed in accordance with the Glenwild standards adopted by the Committee. The Committee will supply a construction detail of the headwall. All stone headwalls shall be constructed of the stone type specified by the Committee.

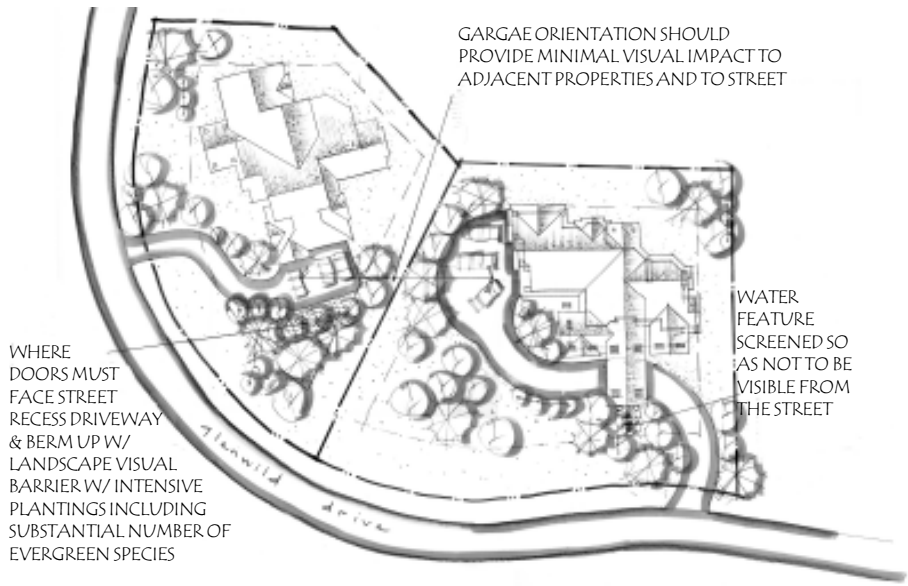


3.6 GARAGE LOCATION

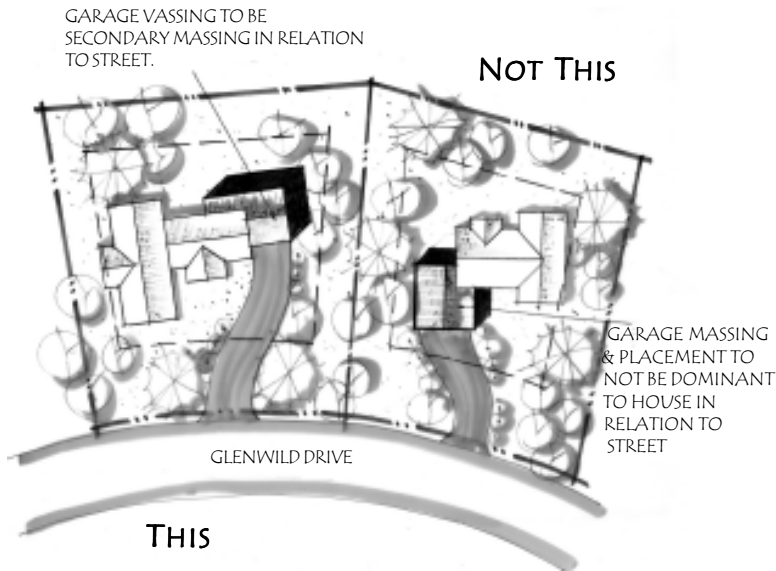
Driveway access and garage location lend significant shape to the design and placement of the home. One of the greatest contributors to negative feelings about residential subdivisions is the often-present row of garage doors aligned along the street with oversized driveways leading to them. Every effort must be made to keep this view from being prevalent at Glenwild. Garages should be located in such a way to minimize the impacts on adjacent lots, roads, common areas, etc.

Side entry garages are recommended except when it would require grading that may have more impact than a front facing garage or if height restrictions limit building orientation. This issue needs to be resolved during the Pre-design Meeting. Where possible, locate the driveway where it requires the least amount of cut or fill.

When planning a house at Glenwild, attempt to minimize the potential view of the garage doors from the street. The garage may be placed in a separate structure with or without an enclosed connection to the main house.



To determine whether the entrance for vehicles faces a potentially acceptable direction, project lines perpendicular to each side of the garage door openings until they cross a built structure, an undeveloped neighboring buildable area, or an area not on Glenwild property. If one of these lines crosses into a street, golf course, or common area, the garage doors are not facing a potentially acceptable direction.



An exception to this rule may be made on homesites with insurmountable obstacles and for homesites that can accommodate a garage in the rear portion of the property. In these cases, the intent is to recall a carriage house behind the main house. Only those designs that clearly place the mass of the home significantly closer to the street than the garage will be considered. The front

entry or entry for people should appear dominant over the entry for vehicles, but never appear excessive in height. Overhangs above the doors and significant architectural detailing also must mitigate the visual impact of the garage doors.

The intent of these requirements is to minimize and direct views from community areas away from vehicular components of the home. Homesites in prominent locations may have additional requirements on garage door placement. These requirements will be communicated to the Architect at the Pre-Design Conference.

3.7 ON-SITE PARKING

Each homesite must have an area for the parking of two guest automobiles within the Approximate Building Location. Homeowners who possess trucks, buses, motor homes, campers, boats, trailers, motorcycles, or any other motorized vehicle other than a conventional automobile, must store or park such vehicles within an enclosed garage so as to be completely hidden from view.

3.8 UTILITIES

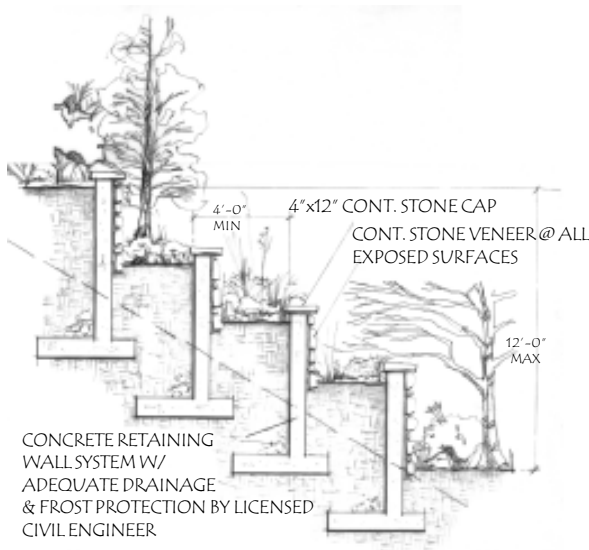
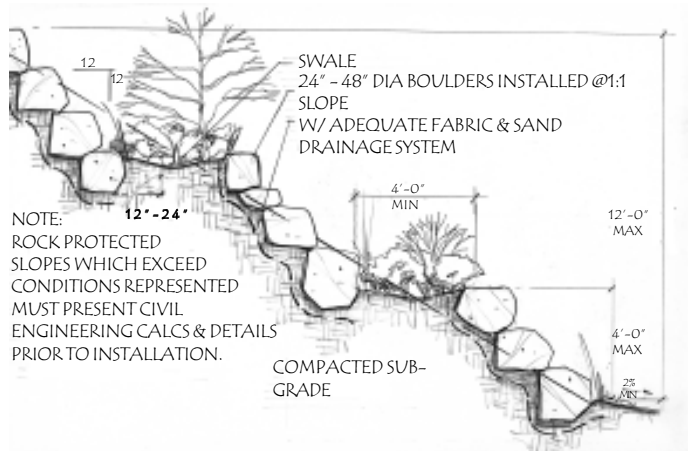
Utility services are generally stubbed to the front property line of each homesite. In some cases, on downhill lots, sewer may be located at one of the rear corners of the lot within a utility easement. Sewer, gas, electricity, telephone and cable television service locations are clustered (usually with those of one adjacent homesite) in a utility easement located on one of the front corners of each homesite. The extension of services from these stub locations to the residence shall be the responsibility of each Owner, and shall be routed to minimize disruption to the natural landscape. Utility trenches may not encroach into any required setback except where they cross the front natural area of the homesite between the service tap and the Approximate Building Location. All disturbed areas of the site must be restored to their natural condition as nearly as possible. Information regarding connection procedures may be obtained by contacting the respective utility companies.

Natural gas service is available at Glenwild. Consequently, no propane tanks are allowed except for B.B.Q grills.

3.9 WALLS AND FENCING

Site walls or fences must appear as a visual extension of the residence, using similar materials and finishes. In no case will site walls or fences be permitted to delineate the Approximate Building Location. It is understood that such walls or fences may define pet runs or small yards, courtyards or terraces in close proximity to the residence for the purpose of privacy.

Fencing may not outline the property line. Privacy or screen walls must not exceed six feet in height, measured from existing natural grade, and they may not encroach outside the Approximate Building Location. Fencing material must be of wood or stone. Alternative finishes, not specified in the guidelines, may be considered on a case-by case basis and in very specific applications. An approval of an alternative material or application on a specific lot does not guarantee an approval on a subsequent

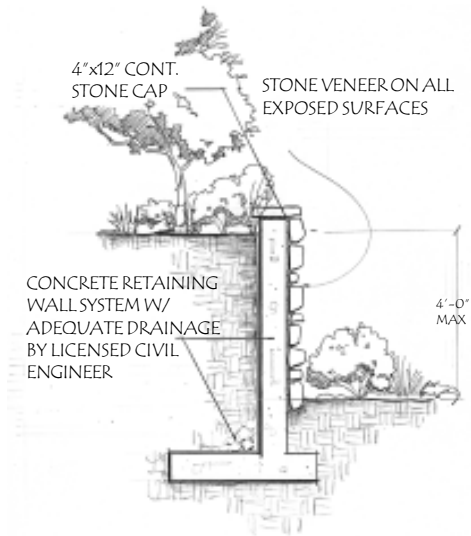


lot or additional project. The use of ornamental iron or other metal fencing is subject to approval by the Architectural Review Committee. Chainlink, metal, plain concrete block, (unless veneered with stone) or wire fencing is prohibited.

Structural retaining walls may not exceed an above natural grade height of four feet unless otherwise approved. Multiple terraced retaining walls must be utilized where the overall height of retained earth exceeds six feet, unless taller walls are used

to reduce disturbance.

Where multiple retaining walls are used, a four-foot planting area, unless otherwise approved, must separate each tier. Tiered retaining walls cannot exceed twelve feet above natural grade. Exception to this would be in the case of uphill rear terraces where a cut is necessary. If the wall is fully screened by the house, the wall may not need to be terraced. This will be resolved on a case by case basis.



Retaining walls may be constructed of cast concrete or concrete masonry units; however, all exposed surfaces and edges must be stone veneer, or stacked rock so as to blend unobtrusively with its natural surroundings and appear to grow out of the ground in an authentic way. The retaining wall must not have a veneered look. Maximum height of stack rock walls is four feet above finish grade unless otherwise approved by a licensed engineer.

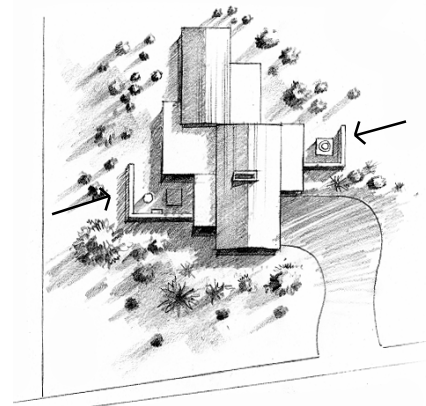
3.10 OUTDOOR STORAGE AND TRASH RECEPTACLES

Outdoor areas housing trash receptacles, firewood storage, maintenance or service equipment such as snowblowers, etc., or overflow storage shall be screened or concealed from all adjacent properties by a wall or fence conforming with Section 3.9. Firewood may be stored in an unscreened area provided it is neatly stacked in an inconspicuous location.

3.11 MECHANICAL AND ELECTRICAL METER EQUIPMENT

All electrical meters, gas meters, irrigation controls and mechanical units must be screened. No roof mounted or wall mounted mechanical equipment will be permitted. Any exterior mechanical equipment utilized must be ground mounted adjacent to the residence, and hidden from view by walls of sufficient height to fully screen it and buffer sound as well. The equipment and enclosure must be contained within the Approximate Building Location. Equipment must be placed with consideration to the adjacent homesite, so as to minimize noise intrusion on the outdoor living spaces. All electrical meters must be screened from the street,

golf course, and adjacent homesite with a wall of sufficient height. Power panels must be recessed and a foundation sleeve must be used so the power feed is within the wall. Additionally, power panels must be painted to match the approximate color/materials of the dwelling. Contact the utility companies for requirements concerning placement of the screen wall. All utilities must be located underground as no overhead power lines are permitted.



SCREENING EXAMPLES

3.12 ANTENNAE AND SATELLITE DISHES

When possible, satellite dishes, television or radio aerials or antennas should be installed so as to be screened from the road, adjacent homesites, golf course or public areas. No satellite dish may be installed that is larger than 39" in diameter. Removal of trees to improve reception is prohibited.

The screen wall is subject to Architectural Review approval and must be an integral component of the house design. In some cases, the enclosure may not be approved due to the location on the homesite and its visual effect on the overall street scene or as viewed from adjacent homesites or the golf course. Umbrella covers over satellite dishes are prohibited.

3.13 SIGNAGE AND ADDRESS IDENTIFICATION

Address markers, entry gates, sculptures, and any other yard art must be approved by the Architectural Review Committee. For Sale signs are prohibited. Applications installed without ARC approval will either be subject to removal at the owner's expense or, if the installation complies with the design guidelines, the applicable fee will be applied. (reference attached fee structure)

3.14 SITE LIGHTING

Glenwild has been designed with a low level uniform street lighting scheme. In order to maintain a dark sky, no additional lighting by an Owner may occur adjacent

to the right-of-way.

Additional site lighting is permitted within an Approximate Building Location, provided such lighting does not result in excessive glare toward the street or neighboring properties. All exterior lighting must be of a low level subdued intensity with the source of light fully shielded and directed downward, and is subject to approval by the Architectural Review Committee. Security lighting must also comply with the shielding requirement and be connected to a timed motion detector. Harsh interior light such as created by lighted skylights or garage fluorescent lights when the garage has windows is prohibited due to its effect on the dark sky.

3.15 SWIMMING POOLS, SPAS OR HOT TUBS

Swimming pools, spas, or hot tubs, if any, must be designed as a visual extension of the residence through the use of walls or decks and must be shielded from view. All pools and spas must be constructed according to Summit County regulations. All pumps, motors, and heaters must be fully screened from view from the street, adjacent homesites, the golf course, or public areas. Additionally, the noise must be dampened so as to be quiet from adjacent homesites, the golf course, and public areas.



Fixed screening designs should be consistent or complimentary with the exterior materials of the home. Should a homeowner choose to screen with vegetation it will be required to fully and properly screen the facility on a year round basis. Depending upon the nature of the home and the building site, an owner may be required to screen such features with a mix of vegetation, walls and decks.

3.16 TENNIS, SPORT COURTS, AND BASKETBALL POSTS

Due to the extensive clearing required by tennis courts, they will not be permitted. Sport courts will only be allowed when acceptable measures to minimize their impacts are included in the plan. Wall-mounted or freestanding basketball goals

may be allowed subject to Architectural Review Committee approval. Support posts of a freestanding basketball goal shall be painted to blend unobtrusively with its visual backdrop surrounding, and the backboard must be clear. Portable basketball hoops are not allowed.

3.17 PLAY STRUCTURES

Play structures, trampolines, swing sets, slides, or other such devices are allowed only when the application is made in advance with the Architectural Review Committee. Approval for such equipment may be granted when it is proposed to be placed within fenced, rear yard areas, is constructed and finished with materials which are complementary to the structure, is limited in height to eight feet or less, and for which the colors of the equipment are in keeping with the intent of these guidelines. Generally, timber and dark-colored, powder coated, steel structural components are allowed, plastic (especially brightly colored plastic) is not.

3.18 HOMESITE RESTRICTIONS

No more than one residence may be constructed on any homesite. When two or more lots are purchased together the Approximate Building Locations may be combined to form one lot. The height and visual impact of larger houses on combined lots will be assessed by the Architectural Review Committee on a case-by-case basis and may result in special restrictions. This will be resolved during the Pre-Design Conference. Additionally, Summit County may require a visual impact study and low impact permit for larger homes on combined lots.

Other outbuildings such as detached garages may be constructed, provided they are a visual extension of the main residence. Such "complexes" are subject to approval by the Architectural Review Committee and any other required governmental authorities.

3.19 GUEST HOUSE

Guest Houses are permitted with county approval. All Guest Houses must be within the Approximate Building Location and the square footage of the Guest House will

be counted toward the total maximum, except as otherwise allowed or limited by the applicable Plat or Lot Features Map.



IV. ARCHITECTURAL DESIGN

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he first aesthetic objective of every home at Glenwild should be to allow the buildings to fit quietly into the existing landscape. The goal is to create appealing and interesting structures that are subtle and complementary to the dominant beauty of the mountain setting and not over power it. The second aesthetic objective should be to design all structures so that they relate to human scale; homes must be designed to not be overwhelming.

There is no identifiable Glenwild style, but a unifying philosophy of design. Homes should reflect regional traditions and respond to the unique character design requirements of the mountain climate. Requirements are intended to foster

thoughtful and comprehensive approach to creating an uncommonly well-designed community.

All materials and effects at Glenwild are to be genuine. Development of spaces for the enjoyment of outdoor living is encouraged. Porches, overhangs, trellises, and the softness of shade and shadow as a result of articulated massing and details are all desirable features. Anything too massive or without well-designed proportions and appropriate functional detailing will not be approved.

The desire is for as much subtle expression as imagination, topography, and continuity will allow. At the same time, the play of light and shadow should be used to enrich the built environment.

4.1 DIVERSITY AND CONTINUITY

The principal objective of the Community Design Guide is to add elements of architectural richness and variety to individual dwellings without allowing exceedingly flashy, ostentatious or attention-grabbing designs.

The world's most admired neighborhoods enjoy the unique character created by a patina of time that has been lacking within the dynamic growth patterns of the west. Where houses have been built individually or changed over the years by their owners, the resulting diversity moves beyond that normally achieved with standard plans and elevations. To recreate this richness, the Architectural Review Committee anticipates a complex harmony in the design and construction of houses to be built within each area of the Glenwild Community.

In order to build with a distinct and legible identity, architectural continuity with other homes in Glenwild must be considered by the architect and will be examined by the Architectural Review Committee when reviewing applications. Homes that have well-developed outdoor spaces and use neutral colors for all materials will be considered as the basis from which to provide continuity. Design continuity can be achieved through form, height, massing, materials, colors and other design patterns. The goal is to create subtle homes that complement their surroundings, allowing the mountain setting to remain the dominant image.

4.2 BUILDING SIZE

There is no minimum size requirement of residences since each residential design will be reviewed according to their individual merits. One of the first goals of all Owners and their Architects should be to create the highest-quality home within the smallest possible volume consistent with the satisfaction of the Owner's need for space. The intent is that the natural landscape currently dominant at Glenwild, remains the dominant visual image. The existing quiet repose and harmony can only be maintained if the built homes and landscape remain subservient and blend into the natural landforms and existing landscape. In keeping with this philosophy, a maximum size is imposed to assure a proper balance of open space within Glenwild.

The following chart outlines the maximum size for each homesite:

<u>Homesite Number</u>	<u>Maximum</u>
01-37	
• Max. area for the main dwelling living area footprint	6,000 sq. ft.
• Max. area for the accessory dwelling living area footprint	1,000 sq. ft.
• Max. building size for the total livable space for the main dwelling and accessory dwelling	10,000 sq. ft.
38-50	
• Max. area for the main dwelling living area footprint	6,000 sq. ft.
• Max. area for the accessory dwelling living area footprint	1,000 sq. ft.
• Max. area for the total livable area for the main dwelling and accessory dwelling	10,000 sq. ft.
51-73	
• Max. area for the main dwelling living area footprint	6,000 sq. ft.
• Max. area for the accessory dwelling living area footprint	1,000 sq. ft.
• Max. building size for the total livable space for the main dwelling and accessory dwelling	10,000 sq. ft.

74-89

- Max. area for the main dwelling living area footprint 6,000 sq. ft.
- Max. area for the accessory dwelling living area footprint 1,000 sq. ft.
- Max. area for the total livable area for the main dwelling and accessory dwellings. 10,000 sq. ft.

90-93

- Max. area for the main dwelling living area footprint 6,000 sq. ft.
- Max. area for the accessory dwelling living area footprint 1,000 sq. ft.
- Max. building size for the total livable space for the main dwelling and accessory dwelling 10,000 sq. ft.

94-98

- Max. area for the main dwelling living area footprint 6,000 sq. ft.
- Max. area for the accessory dwelling living area footprint 1,000 sq. ft.
- Max. area for the total livable area for the main dwelling and accessory dwelling 10,000 sq. ft.

99-103

- Max. area for the main dwelling living area footprint 6,000 sq. ft.
- Max. area for the accessory dwelling living area footprint 1,000 sq. ft.
- Max. building size for the total livable space for main dwelling and accessory dwelling 10,000 sq. ft.

104

- Max. area for the main dwelling living area footprint 6,000 sq. ft.
- Max. area for the accessory dwelling living area footprint 1,000 sq. ft.
- Max. area for the total livable area for the main dwelling and accessory dwelling 10,000 sq. ft.

105-110

- Max. area of enclosed space, including garage 8,000 sq. ft.

111-162

- Max. area for the accessory dwelling living area footprint 1,000 sq. ft.



- Max. living area footprint, including accessory dwellings 10,000 sq. ft.
- Max. livable area, including accessory dwellings 10,000 sq. ft.

163-195

- Max. main dwelling area footprint. 4,500 sq. ft.
- An enclosed basement (other than a walk-out basement) is not included in the calculation and dwelling living area, but is in addition to such maximum.
- Max. building size (not including enclosed basement) 4,500 sq. ft.

Preserve Lots

11-12

- Max. area for the main dwelling living area footprint 10,000 sq. ft.
- Max. area for the accessory dwelling living area footprint 2,500 sq. ft.

13-14

- Max. area for the main dwelling living area footprint 8,000 sq. ft.

“Livable space” or “livable area” includes all interior square footage except the area within garages. Crawl spaces having a floor to ceiling height of 4 feet or less shall not be considered livable space. The “living area footprint” shall be the exterior surface of the exterior walls that define the livable space. The footprint area of garages is not included in the livable area footprint, unless there is livable space constructed and improved above or below a garage. “Enclosed space” means all interior square footage within the structure.

The square footages for “livable space” and “livable area” shall be measured to the outside of the outside wall of the home, except that on walls surfaced with stone, the outside wall shall be the wall to which the stone is attached and shall not include the stone itself.

With respect to Lots 163-195, in cases where there may be uncertainty as to whether a basement constitutes a “walk-out basement”, a walk-out basement shall be defined as: one whose design includes window wells, basement stairwells, patios, or other excavated openings that project more than five (5) feet horizontally from

the foundation walls. Further, within five (5) feet from the foundation wall the grade shall slope at a minimum of a one to one (1:1) slope. The Architectural Review Committee is authorized to use its discretion in further determining whether a basement is considered a "walk-out basement", which may be more restrictive but no less than the above definition, taking into consideration the entirety of the design for the basement, including the height of the basement floor in relation to natural grade, the size, slope and design of window wells, the visibility of the basement from other lots and roads, and the scale of the basement in relation to the overall elevations of the home. In connection with such decisions, those involved should keep in mind that Lots 163-195 are intended for homes having a smaller footprint, and the purpose for excluding basements from the square footage limitations is to allow applicants to construct additional living space in the homes on these lots, so long as the space does not materially increase the visual impact and area of disturbance of the home.

Should an applicant wish to exceed 10,000 square feet of livable space, they may do so by purchasing an adjacent homesite within numbers I-104, 111-162 and combining the two homesites into one. For every added homesite, 5,000 square feet of livable space may be added to the 10,000 square feet livable space maximum. Thus, with two homesites, 15,000 square feet of livable space could be built.

No increase of home size may be achieved by purchasing an adjacent homesite in numbers 105-110, and 163-195. Applicants submitting plans for combined lot residences may be required to reduce the massing of their project by separating the area into two or more separate structures. For example, a separate garage structure might incorporate some living area above it. For any homesites to be combined approval must be given by the Architectural Review Committee and any required governmental authorities.

4.3 PREFABRICATED BUILDINGS

No building that is constructed off-site and requires transportation to any homesite, whole or in partial assembly, will be permitted; this includes mobile homes, stock modular buildings, or any other structure requiring transportation and set up in a partially completed state. However, structures that are assembled off-site and

completely disassembled for transportation, including log structures or custom designed modular buildings, may be permitted. The aesthetic merits of any such structures are subject to review and approval by the Architectural Review Committee.

4.4 HEIGHT OF STRUCTURES

Summit County ordinances and the Glenwild Community Design Guide limit allowable heights. While the building height restrictions effect individual homes, appearance of the Community is the overriding concern. With that end goal in mind, the following height restrictions will apply, unless otherwise restricted on the plat or lot features map:

<u>Homesite Number</u>	<u>Max. Building Height</u>
01-37	35 feet
38-50	32 feet
51-73	35 feet
74-96	32 feet
97-98	28 feet
99-102	32 feet
103	28 feet
104-131,133-147,148 & 151	32 feet
132	22 feet rear/32 feet front (see 4.4.3)
149-150 & 152-154	22 feet front/32feet rear (see 4.4.3)
155-195	32 feet
Preserve Lots 11-14	32 feet

Notes:

1. Height of the perimeter of a structure shall be measured from existing grade or finished grade, whichever measurement is greater. Roof ridges in the center of a structure shall be measured from the roof ridge to the existing grade directly below that point as established by a certified survey to be submitted to the Architectural Review Committee with initial application. A facade or section of the home shall shift at least ten (10) feet from the perimeter of the structure to qualify as an interior roof ridge measured to existing grade. Roof vents, chimneys, furnace vents, plumbing vents, and antennae are exempt from the height regulations. Window wells, basement stairwells, and patios that do not project more than five (5) feet horizontally from the foundation walls will not be used to establish grade for height measurements.

2. See paragraph 4.4.1 and 4.4.2 for additional restrictions on certain lots that may affect height due to special viewshed issues imposed by Summit County.

It is the intent of this Design Guide that roof forms for homes on sloping sites step down with the grade to integrate with the natural setting. The height criteria are to avoid construction of houses that are out of scale. Beyond the height criteria, the Architectural Review Committee will render individual judgements with respect to the overall scale of the proposed design in relation to its location and all surrounding uses. The process does not seek to impose generalized criteria where more specific insights can be demonstrated to result in a better solution. The Committee has the right to impose a height restriction less than what is stated herein, if it believes it is necessary due to specific site conditions.



It is also the intent of the height limitations that roof forms for homes on sloping homesites step up or down with the grade to integrate the massing of the structure with the natural setting.



Building masses are required to step down to lower heights at the perimeter of the structure. If used at all, two-story wall massing should be minimized.

Architects who propose structures with more than one level should be certain that there is a difference in the areas contained on each level. The Architectural Review Committee will usually disapprove homes with similar

floor area on two levels, due to their usually boxy, massive appearance. Although small, cantilevered elements may be considered and significant volumes over negative space must be avoided. Homes that favor the lower floor area will be

more successful in meeting the requirement that lower masses occur toward the outside edges of the home.

Ultimately, the Architectural Review Committee judgments will take into account the more specific character of both the site and the proposed architectural response.

Offsets or indentations in wall planes create visual interest and add to their usually boxy, massive appearance via shadow lines. No building wall may extend more than 20 feet in height without an offset in the vertical plane of at least two feet.

No single-story building wall may extend more than 30 feet in length, without an offset of at least two feet. No two-story building wall may extend more than 20 feet in length without an offset of at least two feet except as approved by the Architectural Review Committee.

4.4.1 SPECIAL REQUIREMENTS FOR HOMESITE 1-14

Homesites 1-14 are within a Ridge Line Protection Zone and have a requirement for a Low Impact Permit as defined by Summit County. For this reason, a site line study must be prepared that is acceptable to both the Architectural Review Committee and Summit County. The Site Line Study must certify that any building on Homesites 1-14 will not be visible as viewed at grade from I-80 eastbound off-ramp at its intersection with State Road 224. Recommendations for professional firms capable of doing this work are available from the Architectural Review Committee. The County requires an engineer or surveyor certification of this study. As a result of this study, each homesite with this restriction may have a different height restriction, as well as building placement. The Approximate Building Locations shown for these homesites, do not necessarily mean that building anywhere within the Approximate Building Location will fulfill the height restriction. As it relates specifically to the roof design, in addition to these homesites not showing above the ridgeline, the roof design shall run parallel to or within 20 degrees of parallel of the ridgeline. Homesites 1-14 must also have roof materials finished with non-reflective, earth tone colored surfaces. Each homesite owner is solely responsible for ensuring that any structure on their property meets the requirements of both the Architectural Review Committee and Summit County.

4.4.2 SPECIAL REQUIREMENTS FOR HOMESITE 105-110 (KNOBHILL LOTS)

Homesites 105-110 have a special requirement due to their location. Due to their visibility in the community in general and adjacent homesites not in Glenwild these homesites will require a great degree of sensitivity in their design and need to be of a proper scale. As such the entire home including the garage and all non-livable space cannot exceed 8,000 square feet. In addition the homes must not have massing to the downhill side that exceeds one story. This one story massing on the downhill side will require a floor plan that is designed to step with the land. Planning for this requirement should start at the earliest stages of design so that it is fully understood by the Architect and Owner.

As viewed from the side elevations, the one-story feature on the rear of the home shall be at least one-third of the overall width of the home, as measured from the foundation wall of the one-story section to the foundation wall of the two-story section, and shall be an enclosed area. As viewed from the rear elevation, the one-story feature shall be at least two-thirds of the width of the overall width of the entire structure, and shall be an enclosed area. Decks covered by roof overhangs of greater than 8 feet will be considered an extension of that level of the structure, but will not be viewed to create a single story mass as a stand-alone element. To allow for undulating footprints and facade shifts, the downhill massing requirements listed above may be calculated by sections of the home, rather than for the entire structure.

In addition, these lots will require special care when landscaping. The landscape design should focus on many things, but helping to blend these homes into the hillside will be paramount.

Special care should be taken in deeply recessed windows so as to keep them in a shaded relief to minimize any possible reflectivity. All exterior materials used on these lots should be judged to help in the blending of the homes into the hillside.

4.4.3 SPECIAL REQUIREMENTS FOR HOMESITES 112, 127-129, 131-133, 147-155 AND 160-162

Homesites 112, 127-129, 131-133, 147-155 and 160-162 are within a sensitive view shed area. For this reason a site line study must be prepared that is acceptable to the Architectural Review Committee in accordance with the Lot Features Map. The site line study must certify that any building on Homesites 112, 127-129, 131, 133, 147, 148, 151, 155, and 160-162 will not be visible as viewed at grade from the intersection of I-80 and I-40. Homesites 132, 149, 150, 152, 153 & 154 have height restrictions. However, these homes may be visible from the I-80 corridor. Lots 149, 150 and 152-154 are allowed to have single story structure up to 22 feet above natural existing grade at the street side of the lot. The rear of the structure is allowed to have a height of 32 feet above the natural existing grade. Lot 132 is allowed to have a height of 32 feet above natural existing grade at the street side of the lot. The rear of the structure is allowed to have a height of 22 feet above the existing grade. Recommendations for professional firms capable of doing this work are available from the Architectural Review Committee.

The County requires an engineer or surveyor certification of this study. As a result of this study, each homesite with this restriction may have a different height restriction, as well as building placement. The Approximate Building Location shown for these homesites does not necessarily mean that building anywhere within the Approximate Building Location will fulfill the height restriction.

4.5 FOUNDATIONS

All visible surfaces of foundation walls must be stone. Foundation walls must step down with the grade change so that its exposed surface does not exceed a vertical height of 8" above finish grade at its greatest exposure. Material covering the foundation wall must be in the same plane as the wall above. Unless the material is acting as an architectural base, such as stone, in which case the offset should be at least six inches. Where the vertical distance from the underside of a ground floor wood deck structure (along its perimeter edge) exceeds 30 inches above finish grade below, the deck edge must be skirted with wood siding to screen the cavity

beneath the deck, or have a special quality that would allow viewing the structure acceptable. Foundation walls that occur under a skirted deck, such that they are no longer visible, are exempt from the facing requirements stated above.

4.6 EXTERIOR MATERIAL

There exist many traditions in high country architecture that will be encouraged at Glenwild, along with certain regional adaptations.

Exterior materials should generally be natural material that blend and are compatible with the native landscape. The predominant exterior materials should consist of wood or native stone, including wood shingles, wood shakes, beveled or tongue-in-groove board siding, board-on-board, board and batt, native stone, or logs.

Plywood siding is prohibited unless the applicant can demonstrate to the Architectural Review Committee that the specific proposed application would result in a finished appearance indistinguishable from an individual board siding application.



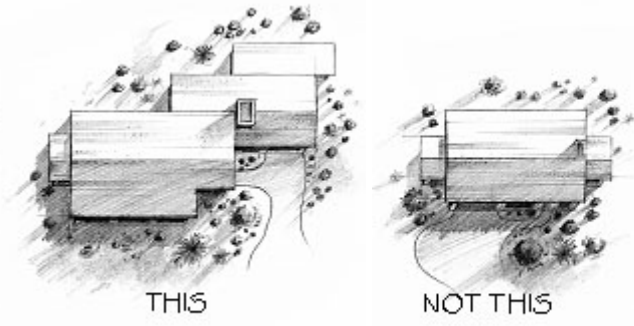
The use of metal siding, including aluminum, fiberglass siding, vinyl siding, or asbestos siding is prohibited. All exterior surfaces including gutters, chimneys and their covers, and window frames are to be finished or painted. Unfinished metallic exterior surfaces are not permitted unless they are copper or cor-ten steel. The use of stucco will only be allowed in very limited quantities and only when it is integrated into the design.

The use of textured masonry block as an exterior finish material will be considered on a case-by-case basis, and



shall be limited to accent segments of the building facade. Brick will not be allowed. Simulated or cultured stone will not be allowed. Alternative materials will be considered on a case-by-case basis and in specific applications. Approvals of various materials on any lot do not guarantee approval on a subsequent lot or project. The aesthetic merits of any combination of exterior materials are subject to review and approval by the Architectural Review Committee, in order to maintain the architectural integrity and consistent visual experience of Glenwild.

4.7 ROOFS



The rooflines of homes within Glenwild are particularly important because the roofs on most homesites will be readily visible from adjacent as well as distant properties. The roof of each house must create its own pleasing relationship to the street, other areas, and to its adjacent structures when viewed from all directions. The overall profile and articulation of the roof should be sufficiently irregular to break up anything that would otherwise appear too boxy or discordant with the landscape or neighboring structures. Expansive roof structures shall be articulated by way of gable or shed dormers. Overhangs shall be provided at all roof edges and must be 3'-0" or more. Asymmetrical roofs are preferable to those that are obviously symmetrical. Covered terraces or porches must be fully integrated into the design of the house.

The roofs of all two-story homes should include single-story elements that help scale the two story elements back to the ground. For both one and two-story residences, the roof profile should be richly varied, including individual masses of sufficient size,

The rooflines of homes within Glenwild are particularly important because the roofs on most homesites will be readily visible from adjacent as well as distant properties. The roof of each house must create its own pleasing relationship to the street, other areas, and to its adjacent



in plan and elevation to convey the desired result. The higher masses should generally occur toward the center, with the lower profiles occurring toward the outer portions of the house. At no time can the highest point of the roof be at any of the outside walls.

The dominate roof form must have a minimum pitch of five feet by twelve and a maximum pitch of twelve feet by twelve except on homes using metal roofs that are on viewshed lots. In some rare cases, portions of the roof may have a lesser slope to achieve the desired architecture on non-viewshed lots. Preferred roof materials include slate, flat concrete tiles, non-reflective raised-seam metal roofs, or heavyweight three-dimensional thick-butt asphalt shingles, with a weight of 325 pounds per square or more. Wood shakes and shingles are prohibited. Many pre-finished metal roofs are considered too reflective and will be prohibited.

Cor-ten (i.e. rusting steel) or copper roofing is encouraged as metal roofs of choice. Copper roofs must be allowed to turn brown or patina. No permanent shiny copper will be allowed. If asphalt shingles are used, a metal drip edge detail must be used to finish the edge appearance. Alternative roofing materials will be considered on a case-by-case basis and in very specific applications. Approval of an alternative roof material does not guarantee approval on a subsequent lot or project.

The use of asphalt shingles of standard or medium thickness, any types of barrel or "S" tiles, asphalt roll roofing, or reflective metal surfaces is prohibited.



All roof vents for mechanical equipment, water heaters, plumbing, heating, or attic venting are encouraged to be incorporated into a chimney. If not incorporated in the chimney then they must be on the rear side of the roof and painted to match the structure.

4.8 ENTRANCES

Entrances proportioned to convey a sense of human scale are more appropriate than those with exaggerated dimensions. Any grandeur should be experienced upon

entering the house, not worn on its exterior facade. The clean lines of restrained and understated entries are more appropriate. Entries that are too ornate, monumental, or imposing will not be approved. Entrances that are a part of a covered front terrace or porch are preferred.

Inasmuch as there is typically only one driveway entrance per house, porte cocheres will only be approved on homesites large enough to permit the required turning movements, without encroaching into the side setbacks.

4.9 PORCHES, TERRACES AND DECKS

A core element of the Glenwild concept is the utilization of the covered front porch or front-facing terrace. Properly designed, this can augment the traditional, more private use of the backyard. The historic front porch or landscape terrace assists this effort in four ways:

1. The focal point of the house becomes the people-oriented entrance, rather than the more typical garage-dominated streetscape.
2. An enhanced sense of entry is achieved without being monumental.
3. There are often excellent views from the front of the house. A space for limited seating, with the benefit of a low wall and an overhanging roof, facilitates being able to take advantage of views.
4. The living area of the house is made to feel larger by opening up to the front yard and street with an indoor/outdoor space.

Although not required, front porches are strongly encouraged. Canvas awnings are prohibited.

4.10 AWNINGS AND ROLLDOWN EXTERIOR WINDOW COVERINGS

The use of awnings, canvas or other similar materials, are not allowed. Additionally, roll down exterior window coverings are also not allowed.

4.11 CHIMNEYS AND OUTDOOR FIRES

Well-proportioned chimney masses can be used as sculptural features complementing the overall qualities of the house. Exposed metal flues will not be approved.



The area (measured in plan view) of any one chimney should be no less than 12 square feet and no more than 48 square feet. Chimneys lend themselves to a variety of angular and rounded forms that can enliven the three-dimensional quality and profile of the overall design.

To preserve the high quality air at Glenwild, all residences are encouraged to utilize natural gas log fireplaces, rather than standard wood burning fireplaces or stoves.

Due to the extreme fire danger usually present in this high desert and mountain region, all chimneys must be equipped with a U.L. or I.C.B.O. approved spark arrestor. Spark arrestors must be fully concealed by the use of a chimney cap detail.



Outdoor fire pits or fireplaces are prohibited unless they are gas.

The Architectural Review Committee must approve permanently installed barbecues.

4.12 EXTERIOR COLORS

The color of exterior materials must generally be subdued to blend with the natural landscape. Earth tones are recommended, although accent colors that are used judiciously may be

permitted.

In no case will colors approaching the primary range (red, blue, white and yellow) be permitted, nor will drastic contrasts in value (light to dark) be allowed. This applies to both paint and stain. White may only be used as an accent or "trim" color; "light-gray" siding stains that approach white or off-white in appearance will not be allowed. Garage and exterior doors are not considered "trim".



Proposed colors must be demonstrated to the Architectural Review Committee in a sample format that adequately depicts the hue, tone and shade of the proposed color in its final application. Please see the example picture of a color sample board. The Architectural Review Committee may require the color selection to be applied to an area of the house prior to approval.

A series of appropriate color palettes have been prepared as a tool to help determine individual color proposals. All colors must be within a Light Reflectance Range (LRV) of 15-35. It is the intent at Glenwild to preserve the appearance of the natural landscape and preclude the use of colors that would appear out of place and, therefore, offensive to the eye.

4.13 WINDOWS, SKYLIGHTS, DRAPERIES AND SHUTTERS

Windows should not appear as openings cut into the side of a box, but rather as architectural features recessed, projected, or bordered by projections that provide a shadow pattern and reduce reflectivity. While the elevations will differ on various sides of the house, windows on all sides must be treated with the same attention to detail given to the front or street elevation. All facades shall contain some degree of doors, windows, or other openings in the walls. Octagons, circles, hexagons, and triangles insensitively placed, will not be approved. Window heads must be shaped to match rooflines or remain level. No scissor truss windows will

be permitted with slopes not matching the roofline.

Scissor trusses are not permitted to be visible from the outside. The glass of windows must not be highly reflective. The window frames must not be white or off-white.

The dome of skylights must be clear, gray or bronze. No white domes are allowed, nor may their frames consist of reflective material that is left unfinished. This especially applies to aluminum frames that must be anodized or finished with baked enamel. Skylights must be placed on the roof in an organized pattern that compliments the roof design. They must not be placed arbitrarily within the house. All skylights must be low profile flat type. Bubble type skylights are prohibited. Shutters and drapery linings must be in neutral color ranges when visible from outside the home. White or off-white is not considered a neutral color.

4.14 BUILDING PROJECTIONS

All projections from a residence or other structure including, but not limited to, chimney flues, vents, flashing, louvers, gutters, downspouts, utility boxes, porches, railings and exterior stairways shall match or complement the surface from which they project, or must be painted or stained an approved color to blend unobtrusively with adjacent materials. All building projections must be contained within the Approximate Building Location.

4.15 GARAGES AND GARAGE DOORS

Garages for each residence are required, either attached or detached, accommodating at least two automobiles; carports are prohibited unless approved otherwise. Garage doors shall not dominate the residence when viewed from the street, especially in areas visible from rights-of-way, common areas, and adjacent homesites. Design submittals with the garage door(s) as a primary focal point from the street will be rejected.

One of the greatest contributors to negative feelings about residential communities is the often-present row of garage doors aligned along the street with oversized driveways leading to them. Every effort must be made to keep this view from being prevalent at Glenwild. Effective measures that minimize the dominance of



garage doors include side entries out of direct view from the street and overhangs or piers that add the softness of shade and shadow by way of recessing the doors. Plans submitted with the garage entrance as the primary focal point from the street, will not be approved.



When planning a house at Glenwild, attempt to minimize the potential view of the garage doors from the street. Place the garage in a separate structure with or without an enclosed connection to the main house or place the entrance to the garage away from the street view. When this is not possible due to topography or other site constraints, the garage doors shall be placed further away from the street than the house facade, leaving the house form as the main focal point from the street. Overhangs above the doors and significant architectural detailing can also mitigate the visual impact of the garage entrance. Garage doors must relate to the remainder of the house's design elements. Garages must not present closed or unarticulated facades. Glazing in garage doors should be provided to reduce the impact of the doors on the rest of the community. Large or unbroken masses above garage doors will not be approved. This is where detailing and a change in the plane of the surface can be beneficial.



The garage doors should be either the same color as the body of the house; or a slightly darker shade of the same color. In either case, they should not be lighter or dark enough to call attention to themselves.

Other design features that shall be provided, include the use of single-bay doors in lieu of double-width doors. No door should exceed 10 feet in width and in most cases should be 9 feet. The Architectural Review Committee requires single-bay doors, so as to present a smaller-scale appearance relative to the rest of the structure. Some exceptions to the single bay door requirement may be granted

when the applicant can demonstrate that it is not physically possible to use a single bay door or in cases in which the use of larger doors would lessen the impact. Where three or more garage bays are planned, care must be taken in the design of the garage door plane. More than two doors are not allowed in the same plane. The third (and fourth) door(s) must occur in a secondary building plane, offset by a minimum of 32 inches from the primary front wall of the garage, to avoid a continuous uninterrupted wall of three or more garage doors. All garage doors must be recessed a minimum of 12".



No garage doors over 9 feet in height will be allowed unless the door appears to be 9 feet in height when closed. Single garage doors divided by a substantial pier or column are encouraged over double doors.

The use of fluorescent or other highly visible lighting may be precluded in areas where the expanse of an open garage door might cause excessive glare, particularly then visible from neighboring residences and public rights-of-way or when windows are used in the garage or garage door.

Windows in garages will be required to have blinds to mitigate light pollution from the garage.

4.16 SOLAR APPLICATIONS AND OTHER STRUCTURES

Passive solar design is encouraged. Active solar applications can result in excessive glare and reflection, and would only be approved by the Architectural Review Committee if the hardware is integrated in the structure or landscaping of a homesite and are not visible from any other homesite or common area. The Architectural Review Committee must approve doghouses, runs, and permanently installed recreational equipment.

4.17 STRUCTURAL WIRING SYSTEM

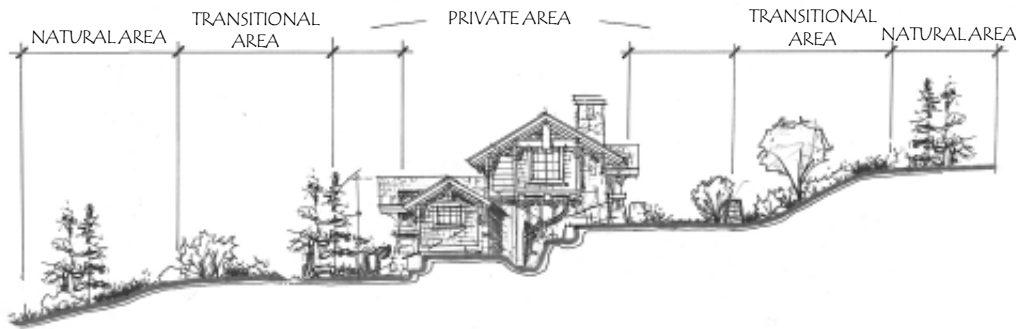
In order to keep all homes at Glenwild up-to-date with the advances of communication technology, all homes must be wired with what is called “Structural Wiring Systems”. This term defines a standard in which communication technology wiring is installed. A spare conduit from the “home base” of the structural wiring system should be installed adjacent to the phone conduit, for possible future use by a telecommunicating provider.



V. LANDSCAPE GUIDELINES

As homes are designed and built within Glenwild, care must be taken to preserve the rugged natural beauty intrinsic to this site. The native vegetation and unique site features are the fabric that weaves together a cohesive and distinct character for the community.

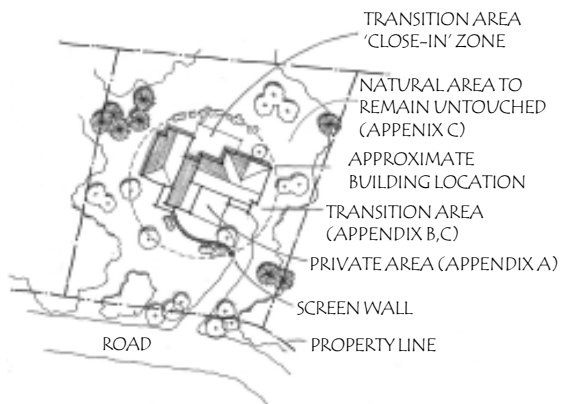
Home placement on the site as well as the owner's outdoor needs must be sensitive to the preservation and continuation of the existing natural fabric which is asymmetrical and consists of groupings of similar plant material. Trees, natural vegetation, and all other site features should be incorporated and utilized to enhance the overall appearance of the home and create a seamless transition to the undisturbed portions of the homesite and surrounding properties. Since the plant species permitted for revegetation is limited, and the growth process long,



every method must be employed to preserve the maximum amount of existing vegetation. Landscaping desires should be taken into account at the Site Planning Phase. Retrofitting a home with only enhanced landscaping after the design has been established will not likely result in a solution that meets the Architectural Review Committee’s requirements. All soil that has been disturbed must be re-vegetated and temporary water applied until sufficient growth has been obtained.

Each homesite has an Approximate Building Location, which is indicated on the Lot Features Map available from the Design Review Committee. It is designed to protect and preserve the natural landscape features. When thinking about the site plan and Landscape Design, three zones have been created for each lot. They are the Natural Area, the Transition Area and the Private Area. Water features, if desired, should be screened from view and are generally discouraged. The Glenwild Review Committee must approve any pond or water feature.

5.1 NATURAL AREA



The Natural Area is that portion of the homesite that lies outside of the Approximate Building Location, and must remain as natural area, or revegetated area to the standards outlined in this section. On homesites with existing natural vegetation, additional plant material may be added, if approved, or may be

required in the Natural Area or within the Approximate Building Location by the Design Review Committee. If allowed, only plants indigenous to the general area of development may be used in the Natural Area found in the Approved Plant List, Appendix C. In addition, the density and mix of any added plant material in the natural area will be required to approximate the density and mix found in the general area. Excluding trees, permanent irrigation of the Natural Area on homesites with existing vegetation is not permitted, since the indigenous vegetation does not require additional water. Permanent irrigation of the Natural Area can lead to disease and death of the native plants, and aid in the spread of undesirable plant species or weeds. Temporary irrigation of all revegetation in the Natural Areas is allowed. Permanent irrigation for newly planted trees is permitted.

5.2 TRANSITIONAL AREA

The transitional area is that portion of a homesite within the Approximate Building Location, but outside of the residence or site walls, within which an Owner may enhance the landscape. All areas of the homesite which were disturbed by construction activity must be restored and revegetated, and must be appropriately tended, until the natural vegetation is reestablished.

For Owners wishing to undertake supplementary planting, the Glenwild landscaping concept may be envisioned as a series of concentric planting zones around a home. The most formal planting, must be situated adjacent to the residence, or an accent border within 6 feet of either side of the entry drive or parking apron. Plant materials in the "close in" zone may be selected from the species described in Appendices A, B, and C of the Design Guide. As the distance from the residence increases, a transitional planting zone may occur between the more formalized planting around the residence and the established setback lines. Planting in this transitional zone should be selected from Appendices B and C, as the landscape blends back to the natural vegetation outside the Approximate Building Location. The line of interface between this transitional zone and the natural landscape outside the Approximate Building Location may occur along a soft edged irregular line which roughly approximates the building location line.

Care must be taken during the siting of the residence on the homesite to allow planting space for perimeter landscaping to occur, if desired, without necessitating

encroachment outside the Approximate Building Location. The Design Review Committee must approve all supplementary landscaping plans prior to its application or implementation. Exceptions may be made for pre-grading of lots 11-14.

5.3 PRIVATE AREA

The private area is that part of the Approximate Building Location which is screened from view from adjacent homesites, the street, golf course, or public areas, by site walls or structure, within which an Owner may create as varied a landscape as desired, provided that only plants on Appendices A, B, or C are used. Private area landscapes are subject to approval by the Architectural Review Committee.

5.4 APPROVED PLANT LIST

The Design Review Committee has approved a list of plants and trees deemed to be inherently compatible with the natural Glenwild landscape, including indigenous and non indigenous species. Such plants are listed in Appendices A, B and C of this Design Guide, and landscaping of any transitional area is expressly limited to these species. Turf, when used, must not be a dominant component of the landscape.

5.5 FIRE PREVENTION THINNING

The Transitional Area of the homesite is that area where fire prevention thinning may occur. Removal of the native vegetation down to raw earth for the purpose of fire prevention thinning is not allowed. When the native vegetation is removed within the Transitional Area, it must be replaced with landscape material listed in Appendices B, and C.

5.6 MINIMUM TREE PLANTING REQUIREMENT

Each lot within Glenwild must develop a quality landscape design that incorporates, at a minimum, seven conifers 12 to 16 feet in height, in addition to deciduous trees used. Lot 100-105 are required to have 10 conifer trees, in addition to deciduous trees used.



VI. CONSTRUCTION REGULATIONS

The preservation of the natural areas of Glenwild is critical to the community. In order to ensure that the natural area of each homesite is preserved to the maximum extent possible and the nuisances inherent to any construction process are kept to a minimum, the following regulations shall be strictly enforced during the construction period of all improvements at Glenwild. The Owner of a homesite shall be responsible for violations of the Design Guide, including construction regulations contained therein, by any contractor, subcontractor, agent, or employee performing any activities on behalf of the Owner within Glenwild, whether located on the homesite or elsewhere within Glenwild.

6.1 APPROXIMATE BUILDING LOCATION AND FENCING REQUIREMENTS

The Approximate Building Location, which is the limit of development on each homesite, is also the area within which all construction activities related to the improvements must be confined. To this end, the approved area of disturbance must be staked and fenced in with a minimum four-foot high black (LOD) construction fence during the full duration of construction. Construction fencing enclosing the Approximate Building Location must extend for the full street frontage so no contractors or suppliers park in the natural area. Stakes should be no more than four feet apart to help maintain the appearance and durability of the construction fence. Inspect the fence daily and repair or replace damaged areas of the fence immediately. Do not attempt to re-use fencing that has rips or is torn, as these areas require new fencing to be installed. Construction fencing must be installed prior to any work being done. When a utility trench does not follow the driveway, the trench area must have a black (LOD) construction fence no wider than 8 feet along the route, on each side, and be fully revegetated wherever the natural area is disturbed. In addition to construction fencing, the exact location of the dwelling(s) and driveway must be staked and approved by the Architectural Review Committee prior to the commencement of construction. Staking must be significant enough to clearly identify all dwelling footprints and driveway location.

6.2 DRIVEWAY INSTALLATION

Clear and grub area and grade to provide slope for driveway. Make sure area is compacted and place filter fabric on driveway a minimum of fifty feet in length and fifteen feet in width. Place course aggregate two to three inches in size to a minimum depth of six inches. The driveway must be inspected daily for loss of gravel/rocks. If adjacent roadway has sediment deposit it must be removed from the road within two hours (shoveling and sweeping). Repair entrance and replace gravel as required to maintain sediment control on roadways.

6.3 OSHA COMPLIANCE

All applicable Occupational Safety and Health Act (OSHA) regulations and guidelines must be observed at all times.

6.4 CONSTRUCTION SITE PLAN AND CONSTRUCTION TRAILERS

As part of the Final Submission, a construction site plan must be prepared and approved which indicates construction access, parking areas off of the street, sanitary facilities, concrete wash out area, trash drum, material storage, and approved access drives for construction activities on any homesite.

Upon approval of the Construction Site Plan a construction trailer or portable field office may be located on the building site within the Approximate Building Location, clear of all setbacks. The type, size and color of any portable office must be approved by a representative of the Architectural Review Committee as part of the construction site plan. The field office may not be placed on-site earlier than two weeks prior to the actual onset of continuous construction activity. At the same time, the provision of temporary power and telephone may be installed. A construction trailer may not remain on site for a period of time exceeding six months without written approval of the Architectural Review Committee.

6.5 CONSTRUCTION TRASH RECEPTACLES AND DEBRIS REMOVAL

Owners and builders shall clean up all trash and debris at the end of each day; an approved trash receptacle must remain on the site at all times for this purpose to contain all lightweight materials or packaging. The receptacle must be positioned on the site alongside the access drive, clear of side and rear setbacks, adjacent road right(s)-of-way and neighboring properties. Each construction company will be given a two week time frame to have the dumpster moved to the above location on your construction site. Trash receptacles must be emptied on a timely basis to avoid overflow of refuse; disposal shall be at a suitable off-site facility. Owners and builders are prohibited from dumping, burying, or burning trash anywhere on the homesite or in Glenwild. Heavy debris, such as broken stone, wood scrap, or the like must be removed from the site immediately upon completion of the work of each trade that has generated the debris. The contractor must ensure that brooms are available at all times for construction cleanup. Cleaning surfaces with firehoses is prohibited.

All concrete washout, from both trucks and mixers, must occur within a contained

area of the Approximate Building Location of the homesite in a location where it will be ultimately concealed by structure or covered by backfill. Concrete washout in road rights-of-way, setbacks or on adjacent properties is strictly prohibited.

During the construction period, each construction site shall be kept neat and shall be properly policed to prevent it from becoming a public eyesore or detriment to other homesites or open space. Any clean-up costs incurred by the Architectural Review Committee or the Association in enforcing these requirements shall be payable by the Owner/Contractor. Dirt, mud, or debris resulting from activity on each construction site shall be promptly removed (one hour after incident or being notified by Glenwild Community Association) from public or private roads, open spaces and driveways or other portions of Glenwild.

6.6 SANITARY FACILITIES

Each Owner or builder shall be responsible for providing adequate sanitary facilities for construction workers. Each contractor has a two week time frame to have a portable toilet at each site and at the location described. Portable toilets must be located within the Approximate Building Location, clear of all setbacks and in a discreet location away from the road edge and as approved on site by the Architectural Review Committee, not within sight of the road.

6.7 CONSTRUCTION ACCESS

The access drive approved by the Architectural Review Committee will be the only construction access to any homesite, and is currently the East Gate, not the Main Gate. All construction access to and from the job site must be via the East Gate. Speed limit for all roads within Glenwild is 20 mph. Contractors, subcontractors, owners, and all others shall be subject to fines for speeding.

6.8 VEHICLES AND PARKING AREAS

Construction crews will not park on, or otherwise use, undeveloped portions of homesites or open space. This includes road shoulders. All vehicles shall be parked within an area agreed upon by the Architectural Review Committee. During very busy construction periods involving multiple trades, when all construction vehicles

cannot be confined to the site proper, the overflow vehicles may be temporarily parked along the roadway, in locations and for time periods solely as approved by the Architectural Review Committee. During these periods roadside parking shall not impair continual unconstrained access by normal traffic and emergency vehicles, including fire trucks. Unless approved by the Architectural Review Committee, overnight parking of vehicles or trailers will not be allowed. Where parking on the shoulder causes damage, all damage to the shoulder and landscape must be immediately repaired by the contractor, and not left for the end of construction. Vehicles may not be parked on neighboring homesites, in nearby driveways or on open space. If a vehicle is parked on the shoulder of the road there will be a fine of \$25 for the first offense and \$50 thereafter. Changing oil or other vehicle maintenance is prohibited. All trailers shall be removed from property after unloading. No vehicles may be left overnight or on weekends.

It may be required, on specific lots, to have overflow vehicles parked off site in order to minimize the impact of blind corners and restricted roadways. A final construction/day-labor parking plan will be completed during the pre-construction meeting.

6.9 CONSERVATION OF NATIVE LANDSCAPE

Trees and all natural areas that are to be preserved must be marked and protected by flagging, fencing, or barriers. The Architectural Review Committee shall have the right to flag major terrain features or plants which are to be fenced for protection. Any trees or branches removed during construction must be promptly cleaned up and removed from the construction site--no exceptions.

6.10 EROSION CONTROL

During construction, measures must be taken to limit erosion. All erosion control measures utilized must comply with Summit County ordinances. The following outlines the required construction methods that must be performed by the contractor.

- 1-Erosion control measures shall be adjusted to meet field conditions during construction and be constructed prior to any grading or

disturbance of existing surface material on site.

2-Daily inspection and maintenance of all erosion control structures shall be provided by the contractor to insure that the intended purpose is accomplished. Erosion control measures shall be in working condition at the end of each working day.

3-All points of construction ingress and egress shall be protected to prevent trucking of mud onto public ways.

4-All sediment shall be prevented from entering any storm drainage system through the use of straw bales, gravel, boards or other applicable methods.

5-After any significant rainfall, sediment control structures shall be inspected for integrity. Any damaged device shall be corrected immediately.

6.11 EXCAVATION MATERIALS AND BLASTING

If any blasting is to occur, the Architectural Review Committee must be notified two weeks in advance and appropriate approvals must be obtained from Summit County. Blasting may only be done by licensed demolition personnel, with all requisite insurance coverages as mandated by county and state statutes. The Architectural Review Committee shall have the authority to require documentation of anticipated seismic effects, with confirmation such effects will not be injurious to other persons or properties, public or private, and that all appropriate protective measures have been utilized. The Architectural Review Committee may require additional insurance to cover potential damages from blasting to subdivision improvements and common areas. All excess material resulting from blasting, as well as all other excess excavation materials, must be promptly removed from Glenwild.

6.12 DUST AND NOISE CONTROL

The contractor shall be responsible for controlling dust and noise from the construction site each day, including the removal of dirt and mud from public or private roads, resulting from construction activity on the site. As stated previously, fines may be assessed.

The sounds of radios or any other audio equipment used by construction personnel must not be audible beyond the property perimeter of any homesite; repeated violations of this provision will precipitate a total prohibition of any on-site use of radios or audio equipment during construction.

6.13 MATERIAL DELIVERIES

All building materials, equipment and machinery required to construct a residence on any homesite at Glenwild must be delivered to and remain within the Approximate Building Location of each homesite, clear of all setbacks. This includes all building materials, earth-moving equipment, trailers, generators, mixers, cranes, cars, trucks and any other equipment or machinery that will remain at Glenwild overnight. If the above mentioned items are left overnight on the property they will be towed at the owners expense. Material delivery vehicles may not drive across adjacent homesites or common area parcels to access a construction site. All deliveries must be via East Gate.

6.14 FIREARMS

The possession or discharge of any type of firearm by construction personnel on any construction site, homesite, common area parcel or right-of-way at Glenwild is prohibited.

6.15 ALCOHOL AND CONTROLLED SUBSTANCES

The consumption of alcohol or use of any controlled substance by construction personnel on any construction site, homesite, common area parcel or right-of-way at Glenwild is prohibited.

6.16 FIRES AND FLAMMABLE MATERIALS

Careless disposition of cigarettes and other flammable materials, as well as the build-up of potentially flammable materials constituting a fire hazard, are prohibited. At least two 20-pound ABC-Rated Dry Chemical Fire Extinguishers shall be present and available in a conspicuous place on the construction site at all times.

No on-site fires are allowed, except for small, confined, attended fires for the purposes of heating masonry water.

6.17 PETS

No member of any construction crew may bring any pets, including dogs, into Glenwild.

6.18 PRESERVATION OF PROPERTY

The use of or transit over any other homesite, common area or amenity, including the golf course, is prohibited. Similarly, the use of or transit over the natural area or setbacks outside the Approximate Building Location of any homesite is prohibited. Construction personnel shall refrain from parking, eating, depositing of rubbish or scrap materials (including concrete washout) on any neighboring homesite, common area parcel, or right-of-way.

6.19 PROTECTION OF SUBDIVISION IMPROVEMENTS AND RESTORATION OF PROPERTY

Each Owner shall be liable for damage to any subdivision improvements, roadways, common areas, golf improvements, or improvements of any other homesite resulting from the activities of such Owner's contractors, subcontractors, agents, or employees.

Upon completion of construction, each Owner and builder shall clean his construction site and repair all property which has been damaged, including but not limited to, restoring grades, planting shrubs and trees as approved or required by the Architectural Review Committee, and repairing streets, driveways, pathways, drains, culverts, ditches, signs, lighting and fencing.

In addition, the Owner and general contractor shall be held financially responsible for site restoration/ revegetation and refuse removal necessitated on any and all

adjacent properties as a result of trespass or negligence by their employees or sub-contracted agents.

6.20 CONSTRUCTION AND REAL ESTATE SIGNAGE

Temporary construction signs shall be limited to one standardized sign per site. A copy of the standardized sign requirements will be given out during the pre-construction conference. This sign is intended for job site identification only; therefore, it must be located within the Approximate Building Location, facing the street frontage of the homesite. The construction sign may not be erected on a site earlier than two weeks prior to the onset of continuing construction activity and must be removed within two weeks of the issuance of a certificate of occupancy by the County, or immediately upon the passage of 30 calendar days without significant construction activity.

Real Estate “for sale” signs, are prohibited. Individual signs, or construction sign attachments, identifying individual sub-contractors, tradesmen, or suppliers are prohibited; identification of licensed tradesmen, when required by state or county statutes, shall be confined to the posting location of the building permit. Attachment of signs or similar material to trees is strictly prohibited.

6.21 DAILY OPERATION

Construction work will be confined to the hours of 7:00 a.m. to 7:00 p.m. Monday through Friday and 8:00 a.m. to 7:00 p.m. on Saturday. Construction of any kind, either exterior or interior, is prohibited on Sunday. These times are subject to change and contractors will be notified when this occurs. There is no construction allowed on primary holidays; a list of associated holidays will be provided during the pre-construction meeting.

6.22 SITE VISITATIONS

Due to the inherent danger associated with an active construction site, visitors to any site should be limited to those persons with official business relating to the construction activity, such as construction workers and tradesmen, building officials, security staff, Architectural Review observers, sales personnel, and the Owner.

Construction personnel should not invite or bring family members or friends, especially children, to the job site.

6.23 CONSTRUCTION INSURANCE REQUIREMENTS

All contractors and sub-contractors must post evidence of insurance with their homesite Owner, prior to entering the construction premises. Confirmation shall be evidenced in the form of a valid Certificate of Insurance naming both the homesite Owner and Glenwild Community Association, Inc. The required insurance must provide coverage not less than the applicable limits of coverage relating to comprehensive general liability, automobile liability and workmen's compensation. The minimum limits of liability shall not be less than \$1,000,000 each for general liability and automobile liability. General liability coverage shall contain provisions for contractual liability and broad form property damage. The certificate shall provide for 30-day notice to the certificate holders in the event of cancellation or material change in the limits of coverage. Please bring a copy of your insurance certificate at the time you submit your \$10,000 deposit.

6.24 VEHICULAR ACCESS

Prior to the start of construction activity at Glenwild, each general contractor shall meet with security staff and prepare a "contractors vehicle pass list" and the supporting information relating to the description and identification of construction/employee vehicles. No person or vehicle will be allowed past the guardhouse until the requisite documents are on file and the appropriate passes have been issued. At such time as the community implements a proximity system, all users will be required to purchase an access pass and provide all requisite documents for the access management system. The Architectural Review Committee or the security staff may require proof of acceptable insurance as a condition of entry. All entry must be via the East Gate. The speed limit is 20 mph.

6.25 FINES

The general contractor shall be responsible for fines resulting from violations to the Design Guide, including construction regulations violated by any contractor, subcontractor or agent of a contractor performing any activities within Glenwild,

whether located on the homesite or elsewhere within Glenwild. It will be the general contractor's responsibility to inform all subcontractors and agents of subcontractors working within Glenwild and on the homesite of all of the construction regulations. Fines will be administered by the Glenwild Community Association or Architectural Review Committee when homeowners, general contractors, or their subcontractors are in non-compliance.



VII. ARCHITECTURAL REVIEW COMMITTEE ORGANIZATION

7.1 MEMBERS

T

he Architectural Review Committee (ARC) shall be appointed by the Glenwild Board of Trustee. Each member must be a member of the Community Association and in good standing. Each Committee member shall hold his/her office until such time as he/she has resigned, been removed, or his/her term of appointment has expired.

7.2 ADDRESS OF ARCHITECTURAL REVIEW COMMITTEE

The address of the Architectural Review Committee shall be the address established for giving notice to the Association, unless otherwise specified by the Committee. Such address shall be the place for the submittal of plans and specifications, and the place where the current Design Guide shall be kept.

The present address for the Architectural Review Committee:

Architectural Review Committee
7085 Glenwild Drive, Park City, Utah 84098

7.3 RESIGNATION OF MEMBERS

Any member of the Architectural Review Committee may, at any time, resign from the Architectural Review Committee upon written notice delivered to the Board.

7.4 DUTIES

It shall be the duty of the Architectural Review Committee to consider and act upon such proposals or plans related to the development of Glenwild that are submitted pursuant to this Design Guide, to enforce the Design Guide (subject to the direction of the Board), and to suggest to the Board amendments to this Design Guide when, and in a manner deemed appropriate by, the Architectural Review Committee.

7.5 MEETINGS

The Architectural Review Committee shall meet from time to time as necessary to properly perform its duties. The vote of a majority of the members shall constitute regardless of any inspections by the Architectural Review Committee during the course of construction.

3. The development, or manner of development of any property within Glenwild.

an act by the Architectural Review Committee.

The Architectural Review Committee shall keep on file, for a reasonable period of time, all submittals and copies of all written responses to Owners to serve as record of all actions taken.

7.6 COMPENSATION

Unless authorized by the Association, the members of the Architectural Review Committee shall not receive any compensation for services rendered.

All members shall be entitled to reimbursement for reasonable expenses incurred by them in connection with the performance of their duties. Professional consultants and representatives of the Architectural Review Committee retained for assistance in the review process shall be paid such compensation as the Architectural Review Committee determines.

7.7 AMENDMENT OF DESIGN GUIDE

The Architectural Review Committee may, from time to time and at its sole discretion, recommend to the Board changes and amendments to the Design Guide deemed appropriate by the Architectural Review Committee. The Board, alone, shall have authority to adopt amendments to the Design Guide. Amendments to the Design Guide which affect County approvals or processes require approval through a Low Impact Permit.

7.8 NON-LIABILITY

Neither the Architectural Review Committee, any member thereof, the Board, individual Board members, nor the developer, shall be liable to the Association or to any Owner or other person for any loss or damage claimed on account of any of the following:

1. The approval or disapproval of any plans, drawings and specifications, whether or not defective.
2. The construction or performance of any work, whether or not pursuant to approved plans, drawings, and specifications

Every Owner or other person, by submission of plans and specifications to the Architectural Review Committee for approval, agrees that it will not bring any action or suit against the Architectural Review Committee, any of its members, the Board, nor the developer, regarding any action taken by the Architectural Review Committee.

Approval by the Architectural Review Committee of any improvement at Glenwild only refers to the Glenwild Design Guide and in no way implies conformance with local government regulations. It shall be the sole responsibility of the Owner to comply with all applicable government ordinances or regulations, including but not limited to zoning ordinances and local building codes.

7.9 ENFORCEMENT

The Architectural Review Committee may, at any time, inspect a homesite or improvement and, upon discovering a violation of this Design Guide, provide a written notice of non-compliance to the Owner, including a reasonable time limit within which to correct the violation. The Architectural Review Committee may also record a notice of violation after the expiration of the time limit. If an Owner fails to comply within this time period, the Architectural Review Committee or its authorized agents may enter the homesite and correct the violation at the expense of the Owner of such homesite; said expense to be secured by a lien upon such homesite enforceable in accordance with the Declaration.

In the event of any violation of this Design Guide, the Architectural Review Committee may, at its sole discretion and in addition to corrective expenses, impose without limitation a punitive fine, commensurate with the severity of the violation, or seek injunctive or other relief from a court of competent jurisdiction. (reference attached fee schedule) In the event the Architectural Review Committee deems it necessary to retain legal counsel in connection with the enforcement of this Design Guide, the Owner against whom such enforcement is sought shall be liable for all legal fees and other out-of-pocket expenses incurred by the Architectural Review Committee or the Glenwild Community Association, Inc. in enforcing the Design Guide.

7.10 SEVERABILITY

If any provision of the Design Guide or any section, clause, sentence, phrase or word, or the application thereof in any circumstance is held invalid or unenforceable, the validity of the remainder of this Design Guide and of the application of any such provision, section, sentence, clause, phrase or word in any other circumstances shall not be affected thereby, and the invalid or unenforceable part shall be deemed deleted herefrom.

7.11 DELEGATION OF AUTHORITY

The Architectural Review Committee may delegate any or all of its Architectural Review responsibilities to one or more of its members, acting as a subcommittee of the Architectural Review Committee, and/or a professional design consultant(s) retained by the Architectural Review Committee on behalf of the Association. Upon such delegation, the actions of such members or consultant(s) shall be equivalent to action by the Committee as a whole.

7.12 DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS

This Design Guide is promulgated pursuant to the terms and conditions of the Declaration of Covenants, Conditions, and Restrictions for Glenwild. However, in the event of any inconsistency between the provisions of this Design Guide and the provisions of such Declaration, the provisions of the Design Guide shall apply.



VIII. APPROVED PLANT LIST AND FEE SCHEDULES

APPROVED PLANT LIST

Refer to Chapter 5.0 Landscape Guidelines for clarification on planting zones and plant lists selections. A species of choice may be selected for plant materials shown in blue.

APPENDIX A - NATURAL AREA

Indigenous plants-Permanent irrigation restricted to trees only

TREES

Acer glabrum - Rocky Mountain Maple



Type:
Deciduous
Height:
6-30 ft.
Zone:
1-3
Culture:
Needs well drained soil and ample moisture

Description:
Leaves 2"-5" wide, three to five lobed or divided into tree leaflets, borne on dark red twigs. Fruit tinged red. Fall foliage yellow.

Juniperus scopulorum - Rocky Mountain Juniper



Type:
Conifer
Height:
20 - 30 ft.
Zone:
3-7
Culture:
This juniper is very pH adaptable, prefers full sun, well-drained soil, and has moderate water requirements.

Description:
Rocky Mountain Juniper is native to dry, rocky areas along the eastern Rocky Mountain Front Range. It forms a dense conical or pyramidal formed tree that grows to 20 or 30 feet in height. Can be used for screens or hedges, or to provide a vertical accent in the landscape.

Picea pungens - Colorado Green Spruce



Type:

Conifer

Height:

30-60 ft.

Zone:

2-7(8)

Culture:

Prefers organic, moist soil. Very adaptable and somewhat drought tolerant. Plant in full sun.

Description:

Very stiff, regular, horizontal branches forming broad pyramid. Spruce aphid is a serious pest. For control, spray with acephate on March 1.

Populus tremuloïdes - Quaking Aspen



Type:

Deciduous

Height:

20-60 ft.

Zone:

1-7

Culture:

Prefers moist soils and is soil tolerant.

Description:

Trunk and limbs smooth, pale gray green to whitish. Dainty, light green, round leaves flutter and quake in slightest air movement. Yellow fall color.

Prunus virginiana - Chokecherry



Type:

Deciduous

Height:

20-25 ft.

Zone:

1-3, 10

Culture:

Tolerant of acidic soil

Description:

Leaves 2"-4" long. After leaves have unfolded, tiny white flower appear in slender, 3"-6" clusters. Astringent fruit is 1/2"-1/3" wide, dark red to black.

Quercus gambelii - Gambel Oak



Type:
Deciduous
Height:
20-30 ft.
Zone:
1-3, 10
Soils:
Prefers dry soils

Description:

Leaves 3"-7" long half as wide, dark green turning yellow, orange or red in fall.

SHRUBS

Amelanchier alnifolia - Saskatoon Serviceberry



Type:
Deciduous Shrub
Height:
4-6 ft high
Bloom Color:
White
Exposure:
Full sun to partial shade

Description:

Dropping clusters of white or pinkish flowers in spring are showy but short lived. Purplish new foliage turns deep green, then yellow and red in the fall.

Artemisia tridentata - Big Sage



Type:
Evergreen shrub
Height:
1-10 ft. high
Bloom Color:
Insignificant flower
Exposure:
Full sun

Description:

Narrow, hairy gray leaves 3/4" long, usually with three teeth at tip, very aromatic. Likes well drained soil.

Chrysothamnus nauseosus - Rubber Rabbitbrush



Type:
Deciduous shrub
Height:
6 ft.
Zone:
1-3, 10, 11
Soils:
Tolerates alkaline soil, and sand

Description:

Narrow gray-green leaves that usually drop by flowering time in late summer, early autumn. Masses of golden yellow, fluffy flowers in broad, flat-topped clusters.

Gutierrezia Sarothrae - Snakeweed



Type:
Perennial Shrub
Height:
8 in. -2 ft. high
Bloom Color:
Yellow
Exposure:
Sun

Description:

Short lived shrub. It flowers in summer, reproduces from seed. Growth is generally poor on saline or alkaline soils.

Purshia tridentata - Antelope Bitterbrush



Type:
Deciduous Shrub
Height:
6-8 ft high
Bloom Color:
Cream to Yellow
Exposure:
Full sun

Description:

A large sprawling shrub with grayish three-lobed leaves. It flowers profusely in early May, turning the entire plant yellow with the delicacy and fragrance of wild roses.

Rosa Woodsii - Wood's Rose



Type:
Shrub
Height:
4-5 ft. high
Bloom Color:
Pink
Exposure:
Full sun

Description:

This native is filled with delicate pink blossoms in the springtime that change to large red hips that add color to the winter garden.

Symphoricarpos occidentalis - Western Snowberry



Type:
Deciduous
Height:
3 ft.
Bloom Color:
Pinish white
Exposure:
Full to partial sun

Description:

It is adapted to moist areas. Small greenish-white berries, which contain the seeds, remain on the stems after the snow falls.

PERENNIALS

Achillea millefolium - Western Yarrow



Type:
Perennial
Height:
3 ft.
Bloom Color:
White
Soil:
well-drained soil and good air circulation

Description:

White flower cluster grow on long stems. Narrow, fernlike, green or gray-green leaves.

Allium acuminatum - Tapertip or Wild Onion



Type:
Perennial herb
Height:
6-8 in.
Bloom Color:
Dark rose to redish purple
Soil:
Adapted to a variety of soils, most abundant on
dry, gravelly soils

Description:

Prefers a sunny position in a light well-drained soil. The bulbs tend to rot when grown in cool wet climates, even if they are given sharp drainage. This species is best in a cold frame and given a dry summer rest

Aster spp. - Aster



Type:
Perennial herb
Height:
6-8 in.
Bloom Color:
Varies
Soil:
Adapted to a variety of soils, most abundant on
dry, gravelly soils

Description:

Prefers a sunny position in a light well-drained soil. The bulbs tend to rot when grown in cool wet climates, even if they are given sharp drainage. This species is best in a cold frame and given a dry summer rest

Balsamorhiza sagittata - Arrowleaf Balsamroot



Type:
Perennial
Height/Spread:
1-2 ft.
Bloom Color:
Yellow
Soil:
Dry Soil

Description:

Blooms from April to July, coloring entire hillsides gold. The large bright yellow sunflower-like flowers are 4 to 5-inches across with a yellow center.

Calochortus nuttallii - Segoe Lily



Type:
Wildflower
Height:
1 1/2 ft.
Bloom Color:
White, marked lilac or purple
Soil:
Well drained soil

Description:

A monocot, with a single stem having a single, large terminal flower. This plant is one of the most conspicuous and beautiful early-blooming flowers of the semidesert. It dries up shortly after blossoming.

Castilleja chromosa - Indian Paintbrush



Type:
Wildflower
Height:
4-6 in.
Bloom Color:
Red to Orange
Soil:
Dry soil

Description:

The most common of the dry paintbrushes, is but one of a large, easily recognizable genus of early bloomers. It has leaves that are 1 to 2 inches long, the upper being divided into as many as 5 narrow lobes

Erigeron spp. - Fleabane



Type:
Wildflower
Height:
24 in.
Bloom Color:
Blue, Violet
Soil:
Dry soil

Description:

Use in masses in front of borders, rock gardens, cut flowers, and containers. Remove old flowers (deadhead) to prolong bloom period; generally plants 2' tall or more need staking.

Eriogonum umbellatum - Sulfer Flower



Type:
Herbaceous perennial
Height:
18 in.
Bloom Color:
Yellow
Soil:
Dry soil

Description:

It is a low, spreading plant that will form a mat about 3 feet across. The yellow flowers are produced through much of the summer. The plant is quite tolerant of heat and drought.

Geranium spp. - Geranium



Type:
Herbaceous perennial
Height:
18 in.
Bloom Color:
Various
Soil:
Dry soil

Description:

A terrific accent to perennial beds and rock gardens spring into summer. Spreads quickly on trailing stems. Great red fall foliage color. A herbaceous perennial. Full to partial sun.

Helianthus - Sunflower



Type:
Annual
Height:
3-10 ft.
Bloom Color:
Yellow
Soil:
Rich, well-drained soil

Description:

Sunflower is a large plant that produces large, yellow flowers followed by edible seeds. Grow the plants in full sun. Birds can offer stiff competition for the seeds as the seed heads mature.

Lupinus spp. - Lupine



Type:
Annual
Height:
1-2 ft.
Bloom Color:
Blue, Violet
Soil:
Well-drained soil

Description:

Lilac-blue flowers atop gray-green foliage. Tolerates dry sunny areas. Many varieties native to the intermountain region.

Oenothera spp. - Evening Primrose



Type:
Annual
Height:
1-2 ft.
Bloom Color:
Pink, Yellow
Soil:
Rich, well-drained soil

Description:

Nearly everblooming delicate, light pink flowers belie the tough nature of this plant that thrives with little or no care. Great ground cover for dry slopes and other low maintenance areas. Blooms in daytime. Herbaceous perennial. Full sun.

Penstemon spp. - Penstemon



Type:
Annual
Height:
1-3 ft.
Bloom Color:
Red, blue, pink
Soil:
Well-drained soil

Description:

Hardy perennial with many varieties native to the intermountain region. Drought tolerant. Blooms in late spring.

Sphaeralcea spp. - Globemallow



Type:
Annual
Height:
6-12 in.
Bloom Color:
Orange, red, pink
Soil:
Dry, well-drained soil

Description:
An excellent spreading plant or groundcover. Blooms June to July.

Vicia americana - American Vetch



Type:
Perennial
Height:
3 ft.
Bloom Color:
Pink
Soil:
Prefers acid, neutral and alkaline soils

Description:
It is in flower in July. The flowers are hermaphrodite (have both male and female organs) and are pollinated by Insects. The plant is self-fertile and adds nitrogen to the soil.

Wyethia amplexicaulis - Mule's Ear



Type:
Perennial
Height:
2-3 ft.
Bloom Color:
Yellow
Soil:
Well drained soil

Description:
It has large shiny leaves and golden yellow heads four inches in diameter. It is strongly aromatic, and generally unpalatable to animals.

GRASSES

Achnatherum hymenoides - Indian Ricegrass



Type:
Perennial sod forming grass
Height:
1-2 1/2 ft.
Soil:
Moderately alkaline soil

Description:

Erect bunchgrass, without rhizomes. Starts growth in early spring, flowers in late spring, reproduces from seeds and tillers.

Bromus marginatus - Mountain Brome



Type:
Perennial
Height:
3 ft.
Soil:
Grows well in a wide variety of soils including poorly drained types

Description:

An erect, rather short-lived bunchgrass. Cool season. It starts growth in early spring, and seeds mature by August. It reproduces from seeds and tillers.

Elymus lanceolatus spp. - Streambank Wheatgrass



Type:
Perennial
Height:
2-3 ft.
Soil:
Moist, well-drained soils

Description:

Cool season, drought tolerant grass. Good browse for livestock and wildlife.

Festuca longifolia - Hard Fescue



Type:
Perennial
Height:
12 in.
Soil:
Well-drained.

Description:

Cool season, long-lived perennial bunchgrass. Adapted to a wide range of soil conditions. Good palatability for livestock and wildlife. Good choice for erosion control and as an alternative turfgrass.

Festuca ovina - Sheep Fescue



Type:
Perennial
Height:
12 in.
Soil:
Well-drained

Description:

Similar to *Festuca longifolia* but is more drought tolerant. Very attractive grass with deep blue-green color. May be used as a drought tolerant turfgrass.

Festuca rubra - Red Fescue



Type:
Perennial
Height:
12 in.
Soil:
Well-drained

Description:

Cool season bunchgrass adapted to cool, shady areas. Can be used for erosion control and as turfgrass.

Festuca rubra commutata - Chewing Fescue



Type:
Perennial
Height:
12 in.
Soil:
Well-drained

Description:
Similar to Red Fescue but has better heat tolerance.

Pascopyrum smithii - Western Wheatgrass



Type:
Perennial
Height:
2-3 ft.
Soil:
Well-drained

Description:
Cool season, drought tolerant grass. Good browse for livestock and wildlife.

Pseudoroegneria spicata - Bluebunch Wheatgrass



Type:
Perennial sod forming grass
Height:
1-2 ft.
Soil:
Adapted to a wide variety of soils, dry, well-drained

Description:
Erect bunchgrass, often with short rhizomes. Growth begins in April, and the plants stay green well into the summer. Regrowth occurs following fall rains. Reproduces from seeds, tillers, and rarely by rhizomes.

Poa bulbosa - Bulbous Bluegrass



Type:
Perennial
Height:
12 in.
Soil:
Well-drained

Description:

Small, cool-season bunchgrass. Good understory grass as it provides good ground cover and competes with cheatgrass and other early-growing weeds. Good palatability for livestock and wildlife.

Sitanion elymoides - Bottlebrush Squirreltail



Type:
Perennial
Height:
4-24 in.
Soil:
Dry, rocky to moist soils

Description:

Characteristic bottlebrush appearance of its floral head. Its spikelets are large and bushy, with sprays of long, soft bristles that extend vertically from the spikelets. The leaf blades are long and flat or folded, and fairly tough.

Stipa viridula - Needle Grass



Type:
Perennial
Height:
2-4 ft.
Soil:
Heavy soils

Description:

Cool-season bunchgrass. Drought tolerant.

APPENDIX B - TRANSITIONAL AREA

Native and Adapted Plants - Supplemental irrigation recommended

TREES

Acer ginnala - Amur Maple



Type:
Small Deciduous
Height:
15-20 ft.
Zone:
1-9, 14-16
Soils:
Well-drained soils

Description:

Three-lobed, toothed leaves. Striking red fall color. Clusters of small, fragrant yellowish flowers in early spring are followed by handsome bright red, winged seeds.

Acer glabrum - Rocky Mountain Maple



Type:
Small Deciduous
Height:
15-20 ft.
Zone:
3
Soils:
Well-drained soils

Description:

Tall multi-trunk tree. Shiny green leaves turn pale yellow to orange in fall. Faster growing and more drought tolerant than other maples. Native to the intermountain area.

Alnus incana - Alder



Type:
Deciduous
Height:
50 ft.
Zone:
2-6
Soils:
Prefers dry soils

Description:

Pyramidal tree with good cold tolerance. The smooth bark is gray as are the new shoots. The tree is grown more for its tolerance than its ornamental value.

Betula occidentalis - Western Water Birch



Type:
Small deciduous
Height:
12-15 ft.
Zone:
1-3, 10
Soils:
Moist, well-drained soil

Description:

Bark smooth, shiny, cinnamon brown. Leaves 2 in. long, turning pale clear yellow in fall.

Crataegus douglasii - Black Hawthorne



Type:
Small deciduous
Height:
15-20 ft.
Zone:
4
Soils:
Moist, well-drained soils

Description:

Rough, scaly bark, with sharp thorns. The leaves are alternate, somewhat leathery, oval with 5-9 lobes on the top half, and toothed. The flowers are small, white, and musky-smelling, and borne in clusters.

Picea omorika - Siberian Spruce



Type:
Evergreen conifer
Height:
40-60 ft.
Zone:
4-7
Soils:
Medium wet, well-drained soil

Description:

Medium sized, slow-growing, with a narrow, conical crown. Short, graceful branches are retained to ground level for a number of years. Scaly, dark brown bark. Glossy, dark green needles have white stomatal bands underneath lending a silvery, bicolored effect. Full sun/part shade.

Pinus aristata - Bristlecone Pine



Type:
Evergreen
Height:
20 ft.
Zone:
4-7
Soils:
Tolerant of poor, rocky and dry soils

Description:

Dense, bushy, heavy trunked, with ground sweeping branches. Dwarf and irregular growth habit. Very attractive picturesque form. Medium texture. Very slow growth rate, making mature height irrelevant.

Pinus flexilis - Limber Pine



Type:
Evergreen
Height:
30-50 ft.
Zone:
4
Soils:
Moist, well-drained

Description:

Slow-growing evergreen tree with blue-green color and an open, spreading form.

Pinus nigra - Austrian Pine



Type:
Evergreen
Height:
60 ft.
Zone:
3
Soils:
Tolerant of poor, rocky and dry soils

Description:

A handsome evergreen tree with densely branched conical form when young, becomes umbrella shaped with age. Needles are long and dark green. Superb for windbreaks or specimen.

Pinus silvestris - Scotch Pine



Type:
Evergreen
Height:
20 ft.
Zone:
3
Soils:
Tolerant of poor, rocky and dry soils

Description:

Moderate growing evergreen to 80 ft. with spread of 25 ft. Young trees are straight, well-branched with blue-green needles. Growth is irregular in aged trees.

Populus x acuminata - Laceleaf Cottonwood



Type:
Small deciduous
Height:
60 ft.
Zone:
All zones
Soils:
Moist, well-drained soils

Description:

Thrives at elevations to 7, 500 ft. Egg-shaped, sharply pointed leaves, glossy green above, pale beneath.

Populus tremuloïdes 'Erecta' - Swedish Aspen



Type:
Small deciduous
Height:
30ft.
Zone:
2
Soils:
Moist, well-drained soils

Description:

Columnar aspen to 30 ft. with a spread of 5 ft. Serrated leaves turn orange-red in fall. Resistant to cancor and leaf rust.

SHRUBS

Atriplex canescens - Four Wing Saltbrush



Type:
Evergreen shrub
Height:
5 ft.
Zone:
3
Soils:
Soil should be dry to moist

Description:

Evergreen shrub, 5ft, gray leaves, Native to dry areas, western U.S.. Needs full sun. It becomes very drought tolerant after a few good waterings.

Cercocarpus ledifolius - Curleaf Mountain Mahogany



Type:
Evergreen shrub
Height:
25 ft.
Zone:
All zones
Soils:
Soil should be dry to moist

Description:

Very slow growing, excellent hedge or small tree of character. Leaves leathery, resinous, dark green above, white beneath, with inrolled edges. The flowers are fairly small and produced in early summer.

Cornus sericea - Redtwig Dogwood



Type:
Deciduous shrub
Height:
15 ft.
Zone:
1-9, 14-21
Soils:
Organically rich, medium wet to wet soils

Description:

Brilliant show of red fall color and bright red winter twigs. Thrives in cold and hot climates. Tolerates shade. Creamy flowers in spring. Fruit is white or bluish.

Fallugia paradoxa - Apache Plume



Type:
Deciduous to evergreen shrub
Height:
Grows normally to 3-4' but can grow to 6 ft
Soil:
Sandy or rocky soil

Description:

It has white rose flowers, small leaves that are finely divided, fruits are plume-like. Native to deserts to S. Calif. east to Texas. It likes full sun. It is drought tolerant, but likes a little indirect summer water. Use as lacy screen. It's usually used individually, which is too bad. I would love to try this as a high groundcover in an interior planting. It might be interesting with Salvia clevelandii or Salvia 'Poza Blue'.

Mahonia repens - Creeping Oregon Grape



Type:
Evergreen groundcover
Height:
9-12 in.
Soil:
Medium wet, well-drained, acidic soil

Description:

This is a creeping plant with holly-like foliage that turns purplish in winter. The plant is an excellent choice as a ground cover. Covered with bright yellow flowers in spring, followed by blue grapelike berries.

Paxistima myrsinites - Mountain Lover or Oregon Boxwood



Type:
Evergreen shrub
Height:
2-4 ft.
Zone:
1-10, 14-21
Soils:
Well drained soil

Description:

Native to the mountains in the West. Dense growth; easily kept lower by pruning. More compact in the sun. Slow-growing, inconspicuous flowers, rather decorative, leaves 10-30mm long, ovate or oblong, serrate, shiny.

Physocarpus malvaceus - Ninebark



Type:
Deciduous shrub
Height:
2-7 ft.
Zone:
1-3, 10
Soils:
Rich, well-drained soil

Description:

Erect habit, shoots densely, stellate pubescence, bark exfoliating in long irregular strips. Leaves alternate, simple, 2-6 cm long, rounded to broadly ovate, Flowers in early summer. Fruit small, in pairs. Sun to shade.

Rhus glabra - Smooth Sumac



Type:
Deciduous large shrub
Height:
9-15 ft.
Zone:
1-10, 14-17
Soils:
Dry to medium moisture

Description:

Smooth Sumac is a spreading, suckering plant that is grown for its tolerant nature rather than its ornamental traits. The bright red fall color is its most important ornamental characteristic. The plant is an excellent choice on sites with poor soil.

Ribes alpinum - Alpine Currant



Type:
Deciduous shrub
Height:
3-6 ft.
Zone:
1-3, 10
Soils:
Medium wet, well-drained soil

Description:

Easily grown in average conditions. Tolerates full shade. Prune at any time of year or simply allow plant to grow naturally. Extremely winter hardy. Full sun to part shade. Flowers and fruit inconspicuous. Good hedge plant.

Salix spp. - Willow



Type:
Large shrubs to large trees
Height:
3-6 ft.
Zone:
2-5
Soils:
Medium wet, well-drained soil

Description:

Fast growing plants that are widely distributed throughout the country. Form and size vary from large shrub to very large trees.

PERENNIALS

Aconitum columbianum - Monkshood



Type:
Perennial
Height:
1 1/2 ft.
Soil:
Thrives in most soils and in the light shade of trees.
Grows well in heavy clay soils. Prefers a moist soil
in sun or semi-shade.

Description:

Wet ground or moist woods in forest fringes from low to subalpine elevations. The whole plant is highly toxic - simple skin contact has caused numbness in some people. The roots and seeds are the most toxic and also the leaves just before the plant flowers. Members of this genus seem to be immune to the predations of rabbits and deer.

Agastache rupestris - Hyssop



Type:
Perennial
Height:
18-36 in.
Flower:
Colorful tubular blooms in colors of pink and orange.
Soil:
This plant likes a lean, well drained soil with plenty of summer heat.

Description:

The foliage is also extremely ornamental and fragrant with the thread-like gray-green leaves giving the entire plant a very soft, wispy look. Keep an eye out for the hummingbirds when this plant is in bloom. Its nectar-rich flowers are unsurpassed in bringing them into your garden.

Antennaria rosea - Pussy Toes



Type:
Perennial
Height:
2" - 1' 4"
Soil:
Prefers dry, well drained soils.

Description:

Antennaria rosea can survive very cold winters with annual averages as low as -40° Fahrenheit. It won't do well if the winter temperatures are consistently above 5° Fahrenheit. Rose pussy-toes do very well with hot summer days. Full sun is ideal for this plant. It does well in dry, well drained soils.

Aquilegia caerulea - Columbine



Type:
Perennial
Height:
3 ft.
Soil:
Provide a partially shaded growing area with a moist, well-drained soil.

Description:

A very ornamental plant. Most species are short-lived, dying out after 2 - 3 years, though they usually produce seed prolifically. However, they are very apt to hybridize with other members of the genus and so it becomes difficult to keep a species true to type if more than one is grown in the garden.

Arctostaphylos uva-ursi - Kinnikinnick



Type:
Evergreen groundcover
Height:
6" to 12" tall by 15" diameter
Soil:
prefers a well-drained, sandy soil

Description:

The foremost characteristic trait is the leathery broad-leaves. From there, tubular flowers - much incised towards the top - grow in small bundles. The red fruits are sour and very dry to the mouth. In regions where it does grow it is common and very much a major element in the vegetation.

Campanula spp. - Bellflower



Type:
Perennial
Height:
6-18 inches
Soil:
Plant in rich, well-composted and well-drained soil.

Description:

Campanulas vary greatly in size and height. Excellent in a mixed border - the blue color blending with many colors. Plant in a cool, sunny or semi-shaded area. Keep well watered in summer, especially in the drier areas and in the winter rainfall regions. Divide and replant every three to four years.

Fragaria spp. - Strawberry



Type:
Perennial groundcover
Height:
2 to 12 inches tall
Soil:
Sandy or rocky soil

Description:

Perennial herb bearing short, thick rootstalks connecting other strawberry plants by hairy runners. Leaves bearing 3 leaflets. Flowers white, up to 1-1/2" wide.

Gaillardia spp. - Gaillardia



Type:
Perennial
Height:
18-24 in.
Soil:
Sandy or rocky soil

Description:

Drought tolerant perennial with yellow and scarlet flowers. Blooms June to frost.

Linum spp. - Flax



Type:
Perennial
Height:
1 1/2 ft.
Soil:
Flaxes do best on well drained soils. Most types do well on infertile, disturbed soils.

Description

Flax is an annual or short-lived, semi-evergreen perennial forb, sometimes semi-woody at base with attractive flowers ranging from white to blue to yellow to red in color. They have excellent cold winter and drought tolerance. They are usually found in open areas, but will tolerate semi-shaded conditions.

Sedum spp. - Sedum



Type:
Perennial groundcover
Height:
8-14"
Soil:
Well-drained

Description:

Excellent choice for rock gardens or for use as a ground cover.

Solidago sphacelata - Goldenrod



Type:
Perennial
Height:
1 1/2 ft.
Soil:
Prefers dry to moist soils

Description:

Solidago sphacelata is a butterfly attractor. Despite its invasive tendency, this plant is still worthwhile to have. Autumn goldenrod can survive very cold winters with annual averages as low as -40° Fahrenheit. This plant needs summer days with high heat. This species does best in full sun to partial shade. This plant can survive for a while without water.

Viguiera multiflora (*Heliomeris multiflora*) - Showy Goldeneye



Type:
Perennial
Height:
3 ft.
Soil:
Works well on most soils, including gravelly slopes

Description:

Moderate moisture requirement; full sun to partial shade. Yellow sunflower-like flowers bloom July to October from foothills to upper montane, on open slopes and under trees. Recommended for mid to high elevation sites.

APPENDIX C - PRIVATE AREA

Supplemental irrigation recommended

TREES

Celtis reticulata - Western Hackberry



Type:
Deciduous
Height:
25-30 ft.
Zone:
1-3, 10-13
Soils:
Moist soils

Description:

Ornamental tree, somewhat pendulous branches. oval leaves to 2 1/2 in. long, margins toothed, pale beneath, strongly veined. Grows best in full sun, with regular water but can become very drought tolerant as it ages, Tiny red berries, important bird tree.

Malus spp. - Crabapple



Type:
Small Deciduous
Height:
15-20 ft.
Zone:
2
Soils:
Moist soils

Description:

Small ornamental trees. Attractive flower display. Flower colors white, pink, reds. Single and double flowering forms. Attractive fruits (red, orange, yellow) in the fall. Crabapple only differs from edible apple in fruit size: less than 2". Problems include apple scab and cedar apple rust.

Pinus contorta - Lodgepole Pine



Type:
Conifer
Height:
80-150 ft.
Zone:
3-6
Soils:
Well-drained soil

Description:

Evergreen tree up to 150 ft. tall occurring on well drained forest soils, 5,000 to 11,500 ft. in elevation. Species dominance is often maintained by fire. Provides high quality lumber.

Prunus padus - Mayday Tree



Type:
Small Deciduous
Height:
15-20 ft.
Zone:
1-3, 10
Soils:
Moist soils

Description:

Dark, dull green oval leaves 2-5 in. long are among the first to unfold in the spring. Small white flowers. Black egg-shaped fruit. Tolerates cold temperatures.

SHRUBS

Caragana arborescens - Siberian Pea Shrub



Type:
Deciduous shrub
Height:
20 ft.
Zone:
2
Soils:
Soil should be dry to moist

Description:

Leaves divided into small leaflets. Spring flowers shaped like bright yellow sweet peas. Useful where choice is limited by cold, heat, wind, bright sun.

Cornus alba - Variegated Dogwood



Type:
Deciduous shrub
Height:
8 ft.
Zone:
1-21
Soils:
Tolerates most soil types

Description:

Grows in sun or partial shade. Young shrubs have erect branches that become more arching with age. The 2-inch clusters of white flowers are followed by white or bluish-white fruits. In winter the twigs are bright red. Variegated-leaved cultivars are not as vigorous as those with all green leaves. The shrub resembles Cornus stolonifera but does not spread as rapidly.

Cornus sericea flaviramea - Yellowtwig Dogwood



Type:
Deciduous shrub
Height:
5-6 ft.
Zone:
3-9
Soils:
Sun to light shade; range of soil types but prefers moist to wet, well-drained, highly organic soil

Description:

Loose, multi-stemmed shrub; broad-spreading rounded mound; upright stems with short horizontal branching. Dull white flowers on flat-topped cyme in spring; short-lived dark purple drupe in fall. Canary yellow stems in winter; ovate to lanceolate dark green leaves; 2 to 4" long; reddish purple fall color.

Cotoneaster acutifolius' - Peking Cotoneaster



Type:
Deciduous shrub
Height:
10 ft.
Zone:
1-3
Soils:
Moist, well-drained soils

Description:

glossy green foliage turning red in fall. Fruit is black. Useful as hedge or screen.

Euonymus alatus' compacta' - Burning Bush



Type:
Deciduous shrub
Height:
4-6 ft.
Zone:
1-9, 14-16
Soils:
Prefers moist, well-drained, slightly acidic soils

Description:

Darkgreen leaves turn rich rose red in fall (shown in photo). Inconspicuous flowers followed by sparse crop of bright orange-red fruit. Background, screen, or isolated plant.

Lonicera tatarica - Tatarian Honeysuckle



Type:
Deciduous shrub
Height:
10 ft.
Zone:
3-8
Soils:
Moist, well-drained soil

Description:

Tatarian Honeysuckle is a tolerant, reliable shrub with good flowering and fruiting habits. It grows in sun or partial shade. The fragrant red to white flowers are produced in mid-spring. The fruit is most ornamental during the summer.

Pinus mugo - Mugo Pine



Type:
Conifer, evergreen shrub
Height:
20 ft.
Zone:
2-7
Soils:
Medium wet, well-drained, organically rich, clay or sandy loams

Description:

Broad-spreading. Features unusually short, medium to dark green needles (to 1" long) in bundles of two.

Prunus besseyi - Western Sand Cherry



Type:
Deciduous shrub
Height:
3 -8 ft.
Zone:
2-6
Soils:
Well-drained soil is preferable, but it will adapt to most soils, including clay

Description:

Sand Cherry is one of the hardiest of deciduous shrubs. Preferring full sun, it adapts to heat and can be used in hot, dry areas of the landscape. This shrub is also cold tolerant and hardy to zone 2. Supplemental water needs are low to none. Western Sand Cherry is rarely bothered by insects or diseases.

Prunus x cistena - Purple-leaf Sand Cherry



Type:
Deciduous shrub
Height:
7 to 14 ft.
Zone:
2-8
Soils:
Sun; moist well drained soil

Description:
Single, pinkish fragrant flowers after leaves have emerged; small blackish fruit.

Prunus tomentosa - Nanking Cherry



Type:
Deciduous shrub
Height:
7 ft.
Zone:
2-7
Soils:
Prefers loamy soils

Description:
Attractive, soft green foliage; grows 6-8' tall with a spread of about 6-10'. Lovely white flowers tinged pink in Spring followed by an edible scarlet fruit. Great accent plant for flower beds.

Sambucus spp. - Elderberry



Type:
Deciduous shrub
Height:
6 to 16 ft.
Zone:
4-10
Soils:
Regular to little water needed when established, prefers moist, well drained, sunny sites

Description:
Common elder, and the four other species of Sambucus which reach tree size, are small trees or large shrubs of very mesic sites, from creekbanks to coves. Though tolerant, elders are most common in or near gaps. Elders are important wildlife species, providing fruits during the late fall and early winter. Elderberry fruits make excellent pie, jam and wine.

Shepherdia argéntia - Buffalo Berry



Type:
Deciduous shrub
Height:
6 to 20 ft.
Zone:
3-10
Soils:
Tolerates full sun, alkaline soil, no drainage, and seasonal flooding

Description:

Silver buffaloberry, is a deciduous, thorny shrub or small tree. The shrub is winter hardy and alkaline tolerant, but has only limited drought and shade tolerance. Fruits are reddish, globe-shaped "berries" (drupes) about 1/8 to 1/4 inch across; flowers are brownish-yellow, small. Stems are thorny, silvery-scurfy when young, brownish in age; roots are shallow and much branched, readily sprouting.

Syringa vulgaris - Lilac



Type:
Deciduous shrub
Height:
20 ft.
Zone:
1-11
Soils:
Soil should be dry to moist

Description:

Leaves roundish oval, pointed, dark green. Pinkish or bluish lavender flowers in clusters to 10 in. long or more. Flowers in may; fragrance is legendary.

PERENNIALS

Alcea rosea - Hollyhock



Type:
Perennial
Height:
6-8 ft.
Bloom Color:
White, pink and red
Soil:
Medium wet, well-drained soil

Description:

Tolerates a wide range of soil conditions and some light shade, but will not tolerate wet winter soils. Considered a biennial or short-lived perennial.

Alchemilla spp. - Lady's Mantle



Type:
Perennial
Height:
6-8 ft.
Bloom Color:
White, pink and red
Soil:
Medium wet, well-drained soil in full sun to part shade

Description:

Prefers part afternoon shade in hot summer climates. Freely self-seeds in the garden to the point of being invasive in optimum growing conditions. Prompt removal of spent flower stems will not only prevent self-seeding but may also encourage a sparse, late summer rebloom. Border fronts. Edging for paths. Mass as ground cover.

Armeria maritima - Sea Thrift or Sea Pink



Type:
Perennial
Height/Spread:
1/2-1 ft.
Bloom Color:
Pink to white
Soil:
Dry, well-drained soil

Description:

Best grown in full sun. Foliage mounds tend to rot in the center if grown in moist, fertile soils or in heavy clay. Good drainage is essential. Deadhead spent flower stems to encourage additional bloom.

Artemisia spp. - Silermound



Type:
Perennial
Height:
6-18 in.
Bloom Color:
Yellow
Soils:
Well-drained

Description:

Fine-textured, silvery, hair-like foliage occurs on mounds of hidden herbaceous stems, and is the primary feature of this low-spreading foliage, which tends to split apart at the center of the crown in mid-summer if it is not annually divided.

Astilbe spp. - Astilbe



Type:
Perennial
Height:
6-36 in.
Bloom Color:
White, Pink, Red
Soils:
Moist soil

Description:

Tiny, pink flowers on graceful, arching plumes appear in mid-summer. Deep rich green foliage is finely dissected, and crinkly-edged. Accent plant, or massed as a ground cover.

Cerastium tomentosum - Snow in Summer



Type:
Perennial
Height:
1/2-1 ft.
Bloom Color:
White
Soil:
Dry, sandy, well-drained soils

Description:

Intolerant of the high summer heat. Spreads by runners to fill in areas, but is not considered to be invasive. Best to shear off flower stems after bloom or mow on high setting to shape foliage mat and hopefully reduce foliage decline.

Chrysanthemum spp. - Daisy



Type:
Perennial
Height:
18-30 in.
Bloom Color:
White
Soil:
Dry, sandy, well-drained soils

Description:

Single white flowers on upright stems. Blooms June through October if deadheaded. Excellent cut flowers.

Coreopsis - Coreopsis



Type:
Perennial
Height/Spread:
15-20 in.
Bloom Color:
Yellow
Soil:
Dry, well-drained soil

Description:

Single daisy-like flowers bloom in late spring. Will bloom continuously if spent flowers are properly deadheaded.

Delphinium - Larkspur



Type:
Annual, Perennial
Height:
3 ft.
Bloom Color:
Blue
Soils:
Well-drained

Description:

Both annuals and perennials. They return from seed or perennial rootstocks every year.

Dianthus - Dianthus



Type:
Perennial, biennials and annual
Height:
10-20 in.
Bloom Color:
Pinks, reds, purples and white
Soil:
Well-drained soils

Description:

Easy to grow, producing lots of flowers with a sweet, spicy scent over a long period. Looks great massed in herb gardens and perennial borders.

Dicentra spectabilis - Bleeding Heart



Type:
Perennial
Height/Spread:
2-3 ft.
Bloom Color:
Pink
Soil:
Neutral to alkaline, well-drained

Description:

Very pretty, no maintenance necessary. Grows well in my poor soil. Dies back to nothing quite early in the season.

Doronicum spp. - Leopard's Bane



Type:
Perennial
Height/Spread:
24-30 in.
Bloom Color:
Yellow
Soil:
Well-drained

Description:

Large yellow daisy-like flowers on sturdy stems. Excellent cut flower.

Hemerocallis - Daylily



Type:
Annual, Perennial
Height:
18-36 in.
Bloom Color:
yellow, red, orange
Soils:
Well-drained

Description:

Dense clumps of long slender leaves with colorful flowers emerging on long stems. Blooms throughout the summer.

Heuchera - Coral Bells



Type:
Perennial
Height:
12-18 in.
Bloom Color:
White, pink or red
Soil:
Light, loamy soil that is moist, but well-drained

Description:

Low maintenance, attractive foliage, that attract hummingbirds. Excellent border plants or woodland ground covers with excellent disease and drought resistance as well as sun and shade tolerance.

Iris missouriensis - Western Blue Flag



Type:
Perennial
Height/Spread:
1-2 ft.
Bloom Color:
Blue, White
Soil:
Requires Moist soils

Description:

Blue or lavender flowers veined on white ground with yellow signal. Long-lived perennial with a thick, underground rootstock which enables populations to maintain themselves over long periods of time.

Iris siberica - Siberian Iris



Type:
Annual, Perennial
Height:
4 ft.
Bloom Color:
Blue, pink, white, yellow, purple
Soils:
Moist to Well-drained

Description:

The plants will tolerate wet soil but will grow well under normal garden culture. Provide a light exposure of full sun or partial shade. Cut the plants back to a height of 6 inches in the fall.

Lavendula spp. - Lavender



Type:
Perennial
Height:
3 ft.
Bloom Color:
Lavender, purple
Soils:
Moist to Well-drained

Description:

An evergreen, perennial shrub with gray foliage and abundant, fragrant, deep purple flower spikes that attract butterflies.

Liatris spp. - Gayfeather



Type:
Annual, Perennial
Height:
18-24 inches
Bloom Color:
Purple, white
Soils:
Moist to Well-drained

Description:

Hardy perennial with long, spiked flowers excellent for cutting. Blooms mid-summer to frost. Tolerates poor soils. Plant in full sun.

Lysimachia punctata - Loosestrife



Type:
Perennial
Height:
2 ft.
Bloom Color:
Yellow
Soils:
Moist to Well-drained

Description:

The plants will tolerate wet soil but will grow well under normal garden culture. Adaptable plant tolerates full sun but prefers partial shade. Cut the plants back to a height of 6 inches in the fall.

Monarda didyma - Bee balm



Type:
Perennial
Height/Spread:
4 ft.
Bloom Color:
Vibrant red, white, purple, and lavender
Soil:
Sandy loam, moist, well drained

Description:

An aggressive spreader, rhizomes can reach over a foot in a season. Bee Balm is unsurpassed in its ability to attract humming birds. White tends to be the tallest, followed by red then purple.

Nepeta mussini - Catmint



Type:
Perennial
Height:
18 inches
Bloom Color:
Lavender
Soils:
Moist, Well-drained

Description:

Small mounding perennial featuring trumpet-shaped lavender flowers in spring. Shear flower spikes after initial flowering to promote continued bloom. Thrives in dry soils in full sun, and is very drought tolerant.

Papaver orientale - Oriental Poppy



Type:
Perennial
Height:
18 in. - 4 ft.
Bloom Color:
Pink, orange, red
Soil:
Well-drained/tight

Description:

One of the most flamboyant of the early summer flowers, with enormous, often frilly double flowers around 6 inches across in loud colors many and most have black bases to the petals. Full sun.

Prunella - Prunella



Type:
Perennial
Height:
12 inches
Bloom Color:
Purplish-blue, pink
Soil:
Well-drained

Description:
Good choice for shrub borders. Prefers partial shade

Pulsatilla vulgaris. - Pasque Flower



Type:
Perennial
Height:
6-12 inches
Bloom Color:
violet
Soil:
Well-drained

Description:
Low-growing, clump-forming, early spring-flowering perennial. Flowers give way to feathery seed heads which are quite showy.

Rudbeckia spp. - Black-eyed Susan



Type:
Biennial, perennial
Height/Spread:
2-3 ft.
Bloom Color:
Orange to orange-yellow
Soil:
Dry to medium wet, well-drained soils

Description:
It blooms in the first year from seed planted in early spring, and is accordingly often grown as an annual. Tolerates heat, drought and a wide range of soils except poorly-drained wet ones.

Sagina subulata. - Irish Moss



Type:
Perennial
Height/Spread:
2-4 inch
Bloom Color:
white
Soil:
Moist, well-drained soils

Description:
Creeping, moss-like plant with dense, tiny, green, feathery leaves. Studded with white flowers in mid-summer.

Salvia spp. - Sage



Type:
Perennial
Height/Spread:
16-30"
Bloom Color:
purple, blue, pink
Soil:
Dry to medium wet, well-drained soils

Description:
Spiked perennial blooms in June-July. Tolerates drought. Prefers moist, gravelly or sandy soils with good drainage. Plants may repeat bloom throughout the summer. Flowers are attractive to bees and butterflies.

Tradescantia spp. - Spider Wart



Type:
Perennial
Height/Spread:
18-24 inches
Bloom Color:
blue, violet, pink
Soil:
Dry to medium wet, well-drained soils

Description:
Clump-forming perennial blooms from late May into early July. Each flower opens up for only one day.

GRASSES

Aristida purpurea - Purple Threewain



Type:
Perennial bunchgrass
Height/Spread:
1-2 ft.
Soil:
Prefers dry, sandy soils.

Description:

It blooms in the first year from seed planted in early spring, and is accordingly often grown as an annual. Tolerates heat, drought and a wide range of soils except poorly-drained wet ones.

Bouteloua curtipendula - Side Oats Grama



Type:
Perennial bunchgrass
Height/Spread:
2-3 ft.
Soil:
Dry to medium wet, well-drained soils

Description:

Foliage turns golden brown in autumn, sometimes also developing interesting hues of orange and red. Cut clumps to the ground in late winter

Elymus cineris - Great Basin Wild Rye



Type:
Perennial bunchgrass
Height/Spread:
4-7 ft.
Soil:
Dry to medium wet, well-drained soils

Description:

Large cool season grass makes an excellent screen, backdrop or border, and adds texture to the landscape. Shades of blue-green to green foliage forms the more ornamental. Large spikey seedheads in late spring or early summer.

Lolium spp. - Ryegrass



Type:
Perennial
Height/Spread:
2 ft.
Soil:
Dry to medium wet, well-drained soils

Description:
Cool season perennial bunchgrass adapted to a wide variety of sites. Establishes quickly and easily.

Miscanthus spp. - Maidengrass



Type:
Perennial bunchgrass
Height/Spread:
4 ft.
Soil:
Moist, well-drained soils

Description:
Adds visual excitement to shrub borders. Delicate reddish-bronze plumes in late summer. Herbaceous. Full sun for best foliage coloration. Accepts dry conditions.

Panicum spp. - Switchgrass



Type:
Perennial bunchgrass
Height/Spread:
2-3 ft.
Soil:
Dry to medium wet, well-drained soils

Description:
Stiffly erect blades blue-gray during the season, becoming yellow in autumn. Loose, broad, weeping plumes of purple-green spikelets, bloom stalks rise above the foliage. Full to partial sun.

Phalaris spp. - Ribbongrass



Type:
Perennial bunchgrass
Height/Spread:
2-3 ft.
Soil:
Dry to medium wet, well-drained soils

Description:
Bright green and white foliage with a strongly rhizomatous habit. Ribbon grass makes a problem-free ground cover.

Poa alpina - Alpine Bluegrass



Type:
Semi-evergreen
Height:
3-12 in.
Soil:
Well-drained

Description:
Bluegrass is a densely tufted bunchgrass. It has thick fleshy leaves that are dark green color. The roots are short and fibrous and do not creep. It is relatively long lived, not overly aggressive.

Poa pratensis spp. - Kentucky Bluegrass



Type:
Semi-evergreen
Height:
12-18 in.
Soil:
Moist, well-drained

Description:
Typically installed as sod for lawn areas.

Poa secunda - Sandberg Bluegrass



Type:
Semi-evergreen
Height:
2 feet
Soil:
Well-drained

Description:

Grass starts growth early in spring and matures and dries in midsummer. Valuable range grass.

Schizachyrium spp. - Little Bluestem



Type:
Perennial bunchgrass
Height:
2-3 feet
Soil:
Average to dry

Description:

Compact, clumping form, striking reddish-gold color in the fall and feathery white seed heads combine to make a powerful display in the landscape. Tolerant of drought and poor soil.

GROUND COVER

Aegopodium podagraria - Bishop's Weed



Type:
Perennial groundcover
Height:
10 inches
Soil:
Well-drained

Description:

Quickly forms a low, dense mass of green leaves edged in white giving a luminous effect in the shade. Spreads by underground roots and should be contained to control the spread. An easy to grow and attractive groundcover.

Ajuga spp. - Bugleweed



Type:
Perennial groundcover
Height:
10 inches
Bloom color:
blue
Soil:
Well-drained

Description:

Excellent spreading ground cover featuring deep blue flower spikes and attractive large bronzy-blue foliage. Forms dense, carpet-like mat, even in shady areas. Thrives in either full sun or shade.

Gallium odoratum - Sweet Woodruff



Type:
Groundcover
Height:
10 inches
Bloom color:
white
Soil:
moist well drained soil

Description:

Grown in part shade to full shade. Spreads by both creeping roots and self-seeding to form an attractive ground cover in moist, shady areas.

Hypericum calycinum - St. John's Wort



Type:
Groundcover
Height:
12-18 inches
Bloom color:
yellow
Soil:
dry, sandy soil

Description:

An easy to grow, spreading woody shrub. Bright sunny yellow 3 inch flowers with prominent stamens appear from summer into fall. Spreads by stolons to make a dense mat of flowering stems. Thrives in poor sandy soil. Drought tolerant when established. Full to partial sun.

Lamium spp. - Nettle



Type:
Groundcover
Height:
4-8 inches
Bloom color:
pink, white
Soil:
Medium wet to wet, well-drained soil

Description:
Groundcover with silver-white leaves and green margins. Foliage lasts through late fall.
Flowers April-July.

Lysimachia nummularia - Creeping Jenny



Type:
Perennial
Height:
2 in.
Soil:
Moist, well-drained

Description:
Small yellow flowers appear mid summer and last several weeks. Spreading ground cover that forms a dense mat of coin-size gold/green foliage. Sun/part-shade.

Phlox - subulata - Creeping Phlox



Type:
Groundcover
Height:
6-8 in.
Soil:
Well-drained, sandy soil

Description:
Forms mats which produce a profusion of blooms in April or May. The plants benefit from fertilization and usually require much water. Best growth occurs when the plant is given a sunny location.

Thymus spp. - Thyme



Type:
Evergreen groundcover
Height:
6 in.
Soil:
Well drained neutral soil

Description:

Fragrant, hairy, ovate green leaves 1/8 inch long. Golden coloring on new growth in spring. Tiny, purplish-white flowers in whorls. Full sun to light shade.

Veronica spp. - Veronica



Type:
Evergreen groundcover
Height:
12 in.
Bloom color:
purple
Soil:
Well drained

Description:

Produces tall stalks of violet-blue flowers throughout the summer. This easy-to-grow perennial adds a deep, vibrant accent wherever it is used: in decorative containers, low borders or mass plantings. Full sun. Herbaceous perennial. Moderate growth to 12 inches tall and as wide.

Vinca minor - Vinca



Type:
Groundcover
Height:
6-8 in.
Soil:
Rich, evenly moist, well-drained soils

Description:

Partial sun to full shade, but is adaptable to soils of average fertility, soils of various pH, and occasional drought, but is not tolerant of full sun.

VINES

Lonicera x brownii 'Dropmore Scarlet' - Dropmore Scarlet Honeysuckle



Type:
Semi-evergreen Vine
Height:
3-12 in.
Soil:
Moist, well-drained

Description:

Twining climber. Trumpet shaped lightly scented scarlet flowers bloom over a long period then red berries. Sun/partial shade.

Parthenocissus quinquefolia - Virginia Creeper



Type:
Evergreen groundcover
Height:
30 ft.
Soil:
Well drained neutral soil

Description:

Leaves are reddish as they emerge then become green. The fall color is bright red. The plant forms a network of stems that cement themselves to structures. When the vine is removed it will leave a residue on buildings. The insignificant flowers are followed by blue fruit that are at least noticeable if not ornamental.

APPENDIX D - NOXIOUS WEEDS

Owners are required to eradicate noxious weeds on their lots at all times, including when the lot is vacant, construction of the home is in process, or the home is occupied.

Carduus nutans - Musk Thistle



Background:

Native to southern Europe and western Asia, musk thistle thrives in pastures and range lands, in waste areas, stream banks, and road sides.

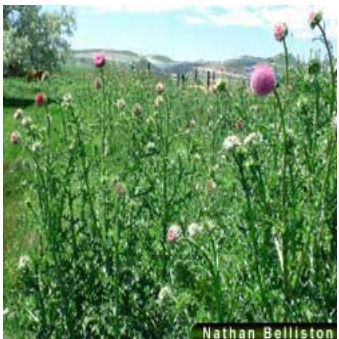
Other common names: Nodding thistle

Description:

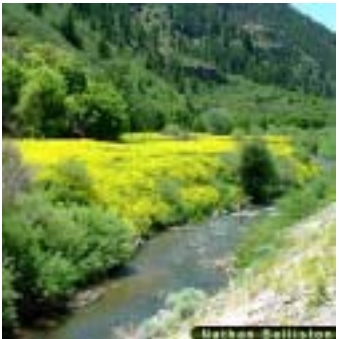
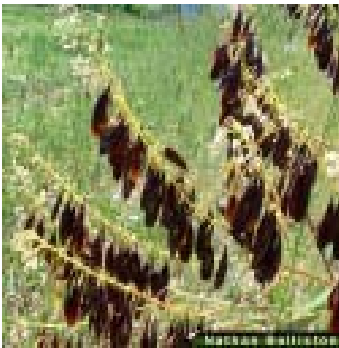
Musk thistle is a biennial or winter annual. Four to six foot tall plants are common. Deeply lobed leaves are distinguished by a dark green blade with a prominent light green midrib. Flowers may be violet, purple, or rose colored. Flowers are typically "nodding" or bent over. Ends of stems supporting flowers are often nearly leafless. Bloom is in June and July.

Control:

Several biocontrol agents are available and offer good control. Herbicides can offer good to excellent control when applied between rosette and pre-bud stages. Mechanical means can be used for control by chopping the plant off at the ground. Contact your local state or county weed specialist for specific updated information.



Isatis tinctoria - Dyer's Woad



Background:

Dyer's woad was introduced from Europe for production of textile dyes. It thrives in waste areas, gravel pits, road sides, pastures, field edges, and disturbed soils.

Other common names: Woad

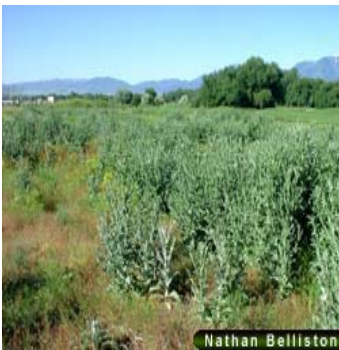
Description:

Dyer's woad may be a winter annual, biennial, or a short-lived perennial. Heights of one to four feet are common. A thick tap root may penetrate to five feet deep. Leaves are blue-green with a whitish midrib. The bright yellow flowers bloom and are highly visible in late spring. Club shaped seed pods each produce a single seed. As the fruits mature they turn from green to dark brown or nearly black.

Control:

Biocontrol rust fungus is naturally wide spread and other agents are currently undergoing research. Rust infected plants will have yellowish puckered leaves with dark spots on the underside. Herbicides can offer good to excellent control when applied to rosettes in spring and fall and during pre-bloom. Digging offers good control. Contact your local state or county weed specialist for specific updated information.

Onopordum acanthium - Scotch Thistle



Background:

Scotch thistle is native to Europe and eastern Asia. It grows well in waste areas, pastures, range land, and along canal and stream banks.

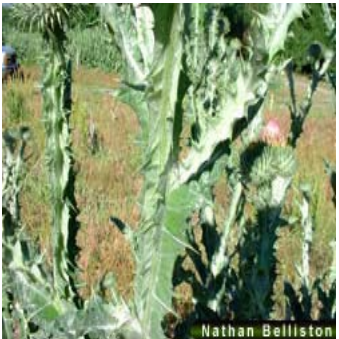
Other common names: Cotton Thistle

Description:

This biennial plant commonly grows three to eight feet tall, but it may grow as high as 12 feet. Rosettes may be four feet wide. Large spiny leaves up to two feet long and one foot wide are covered with dense hair, giving a grayish blue-green coloration. The flowers are violet to reddish with spine tipped bracts, blooming in mid summer.

Control:

Biocontrol research is currently being conducted. Herbicides can offer good to excellent control when applied between rosette and pre-bud stages. Contact your local state or county weed specialist for specific updated information.





Glenwild Homeowners Association, Inc.

Appendix E - General Community Fee Schedule

Fines will be levied against all Lots that are in violation with the following schedule:

<u>Maximum</u>	<u>Initial</u>
Failure to receive required approval from the ARC for any improvement or making an improvement to the Lot that does comply with the CC&R's or Architectural Design Guidelines:	\$250.00 (Minor) \$1000.00 (All Others)

Violation of Community Rules and Regulations (See Exhibit C)

1 st Offense	\$100.00
2 nd Offense	\$250.00
3 rd Offense	\$500.00
4 th Offense	Referred to Attorney / Lien

Failure to Comply will allow Trustees to defer to CC&R's and enter lot to take corrective action at the Owners' expense and/or file an appropriate Lien against the non compliant property/owner.

Appendix F - Construction Compliance Fee Schedule

<u>Maximum</u>	<u>Initial</u>
<u>Construction Regulation Violations</u>	
1 st Offense	\$250.00
2 nd Offense	\$500.00
3 rd Offense	\$1000.00
4 th Offense	Stop Work Order
<u>Daily Parking Violations</u>	
1 st Offense	\$25
2 nd Offense	\$50
3 rd Offense	\$100
4 th Offense:	prohibited from entering property
<u>Failure to Complete Construction within 18 months</u>	
	\$2500
	\$50,000

At such time as an owner realizes they will not meet their 18 month timeline they must schedule a meeting with the ARC to request an extension. 1st Extension will be for a 6 month period. Owner will be assessed a \$2500.00 fee. If revised 24 month timeline is not met a \$5000.00 fee will be assessed providing a final 30 month completion schedule. Should the owner fail to meet the final 30 month deadline a maximum fee of \$50,000.00 will be assessed. Additionally, the Board of Trustees may elect to pursue corrective action as allowed within the community documents.

Failure to Comply will allow Trustees to defer to CC&R's and enter lot to take corrective action at the Owners' expense and/or file an appropriate Lien against the non compliant property/owner.

Any associated Legal Fees and/or HOA expenses may be added to the fee schedule and are not included in maximums.

All Fees Must be paid as stated in the Resolution and late fees and interest will be charged on any past due fines at the established rate within the resolution.

Appendix G - Construction Compliance Fee Schedule

Glenwild Community Association Community Rules and Regulations

The Glenwild CC&Rs include restrictions on the use of the property, which all homeowners are required to follow. The items below elaborate on some of the most common violations, and are intended to maintain the exclusive status and the value of your property.

1. Trash containers may be put outdoors only after 6:00 p.m. on Monday evening and must be taken indoors by 8:00 p.m. on Tuesday. (Please remember that when there is a Tuesday holiday that trash pick up will be a day later.) Please do not overfill the container and be sure lid is closed tightly.
2. Noxious weeds must be treated (cut, roots sprayed, bagged and removed from property) before going to seed on all developed and undeveloped lots. (*this can be as early as May for some noxious weeds and is ongoing through the summer season*)
3. Pets must be leashed or under the immediate control of owner when off the owner's lot and pet droppings picked up immediately.
4. Any addition to the exterior of the home, including yard art, play equipment, basketball goal or other structure or device, must be approved by the Architectural Committee before installation.
5. All vehicles, including but not limited to, cars, trucks, vans, motorcycles, motorbikes, mopeds, mini-bikes, motor scooters, all-terrain vehicles, off-road vehicles, motor homes, recreational vehicles, trailers, travel trailers, tent trailers, camper shells, detached campers, boats, boat trailers, mobile homes, or other similar vehicles must be parked, kept, maintained, stored, constructed, reconstructed or repaired only within a fully-enclosed garage approved by the Architectural Committee. Garage doors must be kept closed at all times except as to the limited extent reasonable necessary to permit the entry or exit of vehicles or persons.
6. Fireworks and any other open fire or potential fire hazard are not permitted on the property.
7. No signs which are visible from any property, golf course or club shall be erected or maintained on any Lot or Parcel. (*exceptions: approved address monuments, legal proceedings, pre-approved construction signage*)

Fining Schedule

First Offense - \$100 Fine
Second Offense - \$250 Fine
Third Offense - \$500 Fine
Fourth Offense – Referred to Attorney

**Please refer to your Community CC&R's for a comprehensive summary of Lot
uses and restrictions**

Appendix H - Glenwild Architectural Review Committee Design Review Fee Structure

Minor Landscape/Exterior Improvements: **No Charge**

- Address Monument / Entry Monument
- Sculptures and/or Yard Art
- Play Sets / Spas
- Additional Plantings (minor)

Major Landscape *(may require review by Architect on retainer)* **\$500.00**

- Large Scale/Full Site Landscape Plan
- Water Features / Pools
- Patios, Firepits, landscape walls

Minor Remodel *(may require review by Architect on retainer, fees passed on)* **\$500.00**

- Room Additions/Bump Outs
- Covered Patios
- Parking Additions
- Additional Fenestrations/Doors, etc
- Decks
- Siding or Roofing Replacement (if changed product or color)

Major Remodel *(may require review by Architect on retainer, those fees passed on)* **\$1000.00**

- Significant Structural Additions
- Driveway Re-alignments
- Alterations to Site Grading/Retaining/Drainage

Construction Compliance Deposit **\$10,000.00**

Construction Compliance Deposit is a refundable deposit. Refunds will occur After a full inspection of the project has been completed including all landscaping. Any/All construction fines not paid in full can/will be deducted from said deposit. An executed Escrow Agreement will accompany all Compliance Deposits.